



Terraprobe

*Consulting Geotechnical & Environmental Engineering
Construction Materials Inspection & Testing*

**PHASE ONE
ENVIRONMENTAL SITE ASSESSMENT
2114, 2124 and 2130 HURONTARIO STREET and
2095, 2107, 2113 and 2121 GRANGE DRIVE
MISSISSAUGA, ONTARIO**

Prepared For:

Gordon Woods Development Limited
c/o Edenshaw Homes Limited
260 Brunel Road
Mississauga, ON L4T 1T5

Attention: Mr. Kevin Wassermuhl

File No. 13-11-6210
February 28, 2012

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Terraprobe Inc.

Greater Toronto

11 Indell Lane
Brampton, Ontario L6T 3Y3
(905) 796-2650 Fax: 796-2250

Hamilton – Niagara

903 Barton Street, Unit 22
Stoney Creek, Ontario L8E
(905) 643-7560 Fax: 643-7559

Central Ontario

220 Bayview Drive, Unit 25
Barrie, Ontario L4N 4Y8
(705) 739-8355 Fax: 739-8369

Northern Ontario

1012 Kelly Lake Rd., Unit 1
Sudbury, Ontario P3E 5P4
(705) 670-0460 Fax: 670-0558

www.terraprobe.ca

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Appendix B – Ecolog ERIS Report

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1.0 EXECUTIVE SUMMARY

Terraprobe was retained by Edenshaw Homes Limited to complete a Phase One Environmental Site Assessment (ESA) of the properties located at 2114, 2124 and 2130 Hurontario Street and 2095, 2107, 2113 and 2121 Grange Drive, Mississauga, Ontario. The Phase One Property has been used for residential and commercial (office) purposes and includes seven (7) buildings. The commercial units located along Hurontario Street and the residential building located at 2107 Grange Drive are currently unoccupied.

Edenshaw Homes Limited is considering redevelopment of the Property to residential housing. The proposed redevelopment is considered to be a change to a more sensitive land use for the properties located along Hurontario Street under Ontario Regulation 153/04 (as amended). Therefore, there is a mandatory requirement to file a Record of Site Condition as part of the change in land use. It should be noted that the Phase One ESA complies with the requirements of O.Reg. 153/04 (as amended).

The Phase One ESA involved the following main tasks:

- A records review of historical site use and activities for the Phase One Property and for the areas within approximately 250 m;
- Interviews with available individuals having knowledge of current and/or historical site activities;
- A reconnaissance inspection of the Property; and
- Evaluation of the information and documentation.

The Property is situated in an area of mixed residential and commercial land uses. The following table summarizes the findings of the Phase One ESA and recommendations.

Area	Issue	Recommendation	Rationale
Phase One Property			
A	Historical and current presence of fuel storage tanks at the Property	A Phase Two ESA, including boreholes and monitoring wells for soil and ground water sampling	Identify quality of the soil and ground water at the Property
B	Uneven surface, presence of possible fill		To facilitate determination of ground water flow direction at Phase One Property
C	Based on the age of the buildings (1960s), possible presence of designated substances and hazardous materials (DSHM) in the building materials	A DSHM survey of the buildings present at the Property	Prior to any demolition activities, Terraprobe recommends a designated substances survey of the buildings to identify the locations of potential designated substances that require special handling prior to and during the demolition process. The information is to be provided to a demolition contractor, as required by the <i>Occupational Health and Safety Act (OHSA)</i> and the



Area	Issue	Recommendation	Rationale
			Canada Labour Code Part II.
Phase One Study Area			
	na	na	na

A Phase Two Environmental Site Assessment is recommended to investigate issues of potential environmental concern that have been identified on the Phase One Property which may have resulted in adverse impact to the environmental condition of the Property. It is our opinion that, although potential issues of environmental concern have been identified, the potential for adverse impact to the environmental condition of the Phase One Property is considered to be low based on the historical use of the Property for agricultural or residential purposes.



2.0 INTRODUCTION

Terraprobe was retained by Mr. Kevin Wassermuhl, Planner of Edenshaw Homes Limited on behalf of Gordon Woods Development Limited, to complete a Phase One Environmental Site Assessment (ESA) of the properties located at 2114, 2124 and 2130 Hurontario Street and 2095, 2107, 2113 and 2121 Grange Drive, Mississauga, Ontario. The location and extent of the Phase One Property is identified on Figures 1 and 2. The Phase One Property has been used for residential and commercial (office) purposes. The Phase One Property has seven (7) existing buildings. The buildings located along Hurontario Street are currently unoccupied and abandoned.

Edenshaw Homes Limited is considering the future redevelopment of the Property to high density residential dwellings. The proposed redevelopment is considered to be a change to a more sensitive land use under Ontario Regulation 153/04 (as amended). Therefore, there is a mandatory requirement to file a Record of Site Condition as part of the change in land use. It should be noted that the Phase One ESA complies with the requirements of O.Reg. 153/04 (as amended).

2.1 Phase One Property Information

Legal Description and Assessment Roll No.

According to the City of Mississauga on-line services, Land Registry Office and Site Plan of the Phase One Property, dated June 28, 2011, prepared by Chris Beresniewicz, Ontario Land Surveyor, the Phase One Property has the following; Legal Description, Property Identification Number (PIN) and Assessment Roll Numbers:

Address	Legal Description	PIN	Assessment Roll No.
2114 Hurontario Street (commercial building)	CON 1 SDS PT LOT 16 PLAN C24 PT LOTS 18,19,22 RP 43R18068 PARTS 1,2,5	13358-0103 (LT)	21-05-060-125-08400-0000
2124 Hurontario Street (commercial building)	CON 1 SDS PT LOT 16 PLAN CON 24 PT LOT 22	13358-0088 (LT)	21-05-060-125-08300-0000
2130 Hurontario Street (commercial building)	CON 1 SDS PT LOT 16	13358-0089 (LT)	21-05-060-125-08200-0000
2095 Grange Drive (residential house)	PLAN C24 LOT 20	13358-0086 (LT)	21-05-060-125-10900-0000
2107 Grange Drive (residential house)	PLAN C24 PT LOT 19 RP 43R18068 PART 3	13358-0085 (LT)	21-05-060-125-11000-0000
2113 Grange Drive (residential house)	PLAN C24 PT LOT 18	13358-0084 (LT)	21-05-060-125-11100-0000
2121 Grange Drive (residential house)	PLAN C24 LOT 17	13358-0083 (LT)	21-05-060-125-11200-0000

Zoning

According to the City of Mississauga on-line services, zoning information (Appendix D), the Phase One Property has been zoned as follows:

Address	Zoning
2114 Hurontario Street	O (Office Zone)
2124 Hurontario Street	O (Office Zone)
2130 Hurontario Street	O (Office Zone)
2095 Grange Drive	R1 (Residential)
2107 Grange Drive	R1 (Residential)
2113 Grange Drive	R1 (Residential)
2121 Grange Drive	R1 (Residential)

Property Owner Information

Gordon Woods Development Limited
c/o Edenshaw Homes Limited
260 Brunel Road
Mississauga, ON L4T 1T5

Contact:

Attention: Kevin Wassermuhl
Tel: (905) 990-3500
Kevin.wassermuhl@edenshawgrop.com

2.2 Site Description

The Phase One Property is located on the west side of Hurontario Street and east of Grange Drive in the City of Mississauga. The location of the subject Property is shown in Figure 1. General site features are presented in the Site Plan (Figure 2).

The Phase One Property is irregular in shape and covers an area of approximately 0.9476 ha (2.34 acres). It consists of seven (7) parcels of lands; three (3) fronting Hurontario Street and four (4) fronting Grange Drive. The Phase One Property is located in a mixed residential, commercial and institutional area of the City of Mississauga. The land use of the adjoining and surrounding areas is summarized below:

Direction from Property	Current Typical Land Use
North	Residential and commercial, institutional
East	Hurontario Street Residential and commercial properties along Hurontario Street
South	Commercial
West	Grange Drive Residential



2.3 Structures

Information regarding the structures observed on the Phase One Property and building permits issued by the City of Mississauga are summarized in the following table:

Building	Location (Phase One Property)	Description	Available Building Permits
2114 Hurontario Street	Southeast	One-storey unoccupied office building with a basement, located southeast of the property	1967
2124 Hurontario Street	East	One and one-half storey office building with one level basement located northeast of the property with a garage building located west of the building	1981
2130 Hurontario Street	northeast	One-storey building with a basement located in the middle of the property	1979
2095 Grange Drive	Southwest	One and one-half storey brick and stucco building with a basement located on the western portion of the property. An attached garage is located south of the building	1966
2107 Grange Drive	west	One-storey aluminum clad building with a basement located on the western portion of the property. An attached garage building is located north of the residential building	1966
2113 Grange Drive	west	One-storey stucco building with a basement located on the western portion of the property. An attached garage building is located south of the residential building	1966
2121 Grange Drive	northwest	One-storey brick building with a basement located southwest of the property. An attached garage is located north of the building	1966

Information regarding the Building permits is presented in Appendix A.

2.4 Purpose of Investigation

The objectives of the Phase One ESA were:

- to assess the environmental condition of the Phase One Property;
- to identify potentially contaminating activities within the Phase One Property and Phase One Study Area (i.e., areas within 250 m of the Property); and,



- based on the above, to identify issues of obvious or potential environmental concern with respect to the Phase One Property.

The Phase One ESA was completed to satisfy the intent of the requirements, methodology and practices for a Phase One ESA as described in Ontario Regulation 153/04 ((as amended)).



3.0 SCOPE OF INVESTIGATION

The Phase One ESA involved the following principal tasks:

- A review of records and reports regarding historical and current use, occupancy, and activities for the Phase One Property and for the Phase One Study Area;
- Interviews with available individuals having knowledge of current and/or past site activities;
- An inspection of the Phase One Property and observation of the Study Area; and,
- Evaluation of the information and documentation of the results of the review.

The observations recorded during the site visit, combined with the information obtained from the records review, are summarized in this report. Sampling and analysis of soil, ground water, or other materials (e.g., construction materials, air) were not carried out as part of the Phase One ESA.

3.1 Methodology

3.1.1 Records Review

The records review provides information on historical and current activities and features. The objectives of the records review are summarized as follows:

1. To obtain and review records that relate to current and past use, site features, and activities at the Phase One Property.
2. To obtain and review records that relate to potentially contaminating activities, water bodies, and areas of natural significance in the Phase One Study Area (in addition to the Phase One Property).
3. Based on the above, to provide an assessment of actual and/or potential contaminating activities and concerns with respect to the environmental condition of the Property.

Tasks that were completed/addressed for the records review included the following:

- A review of archival information for the site including; aerial photographs, topographic mapping, available historical maps and drawings;
- A review of site-specific environmental reports or company records (e.g., Certificates of Approval, waste generator registration, approvals, permits) provided to Terraprobe Inc.;
- A review of geological and hydrogeological information in published government maps and/or reports;
- A review of information on file with Ecolog ERIS, a commercial database that provides information from numerous private, provincial, and federal environmental databases/registries;



- A review of information on file with Risk Management Service Inc. (RMS), a commercial database for fire insurance plans and insurance inspection reports;
- A review of published Ontario Ministry of the Environment (MOE) directories related to registered PCB storage sites, and active and closed landfill sites; and,
- A review of the Ontario Ministry of Natural Resources (MNR) Natural Heritage Information Centre database and the Toronto Conservation Authority website for information specific to natural areas, such as the location of environmentally sensitive areas or species.

In addition, requests were made to various regulatory agencies to establish the status of the Phase One Property. For this assessment, the following agencies were contacted.

- Technical Standards and Safety Authority
- Ontario Ministry of the Environment - Freedom of Information Office

3.1.2 Interviews

The objectives of the interview were:

- To obtain information to assist in determining if an area of potential environmental concern exists; and,
- To identify details of potentially contaminating activities or potential contaminant pathways in, on, or under the Phase One Property.

Key personnel were interviewed and asked questions related to specific site activities such as:

- The nature of the operations;
- Handling and storage of environmentally sensitive products and related wastes;
- Environmental approvals and registrations;
- Knowledge of previous reports related to the environmental condition of the Property; and,
- Issues related to non-compliance, orders, or charges related to environmental conditions on the Property.

For this assessment, interviews were conducted with the owner and tenant representatives.

The information acquired from this interview is presented in Section 5.0 of the report.

3.1.3 Site Reconnaissance

The objectives of the site reconnaissance were:



- To identify sources of areas of potential environmental concern based on observations of current and past uses and potentially contaminating activities at the Phase One Property and Phase One Study Area;
- To identify potential pathways for contamination at the Phase One Property and Phase One Study Area.

The site reconnaissance included a review of issues of potential environmental concern, including the following:

- Activities and practices including site operations, processes, and waste management currently carried out on the Phase One Property;
- Assessment of the potential presence of past waste disposal, landfill, or fill placement on the Property;
- Assessment of the potential presence of hazardous or toxic chemicals, materials, or processes;
- Assessment of the potential presence of existing or former above-ground or underground fuel storage tanks (ASTs or USTs);
- Identification of heating and cooling systems;
- Identification of floor cracks, hydraulic hoists, elevators, sumps and drains;
- Identification of water supply source to the Property;
- Assessment of the potential presence of various Designated Substances and building materials including:
 - Friable and non-friable asbestos;
 - Urea formaldehyde foam insulation (UFFI);
 - Chlorofluorocarbons (CFCs) in air conditioning and refrigeration equipment;
 - PCB-containing materials and electrical equipment;
 - Lead-based paint;
 - Mould.
- Identification of wells, pits and lagoons, drainage sumps and floor drains, sewage and wastewater disposal pipelines; and
- Inspection of general site conditions, including topography and drainage, standing water, rights-of-way, presence of underground utilities, evidence of stained or odorous soils and stressed vegetation, and vehicle parking.

In addition, an inspection of adjacent properties within the Phase One Study Area (identified in Section 4.1.1) was completed to assess the potential for operations being carried out on those properties to impact on the environmental condition of the Phase One property. The inspection of the Phase One Study Area was limited to inspection from the Phase One Property boundaries and public areas (roads, sidewalks, etc.).



3.1.4 Documentation and Evaluation of Information

The information obtained from the records review, interviews, and site reconnaissance, was described and evaluated as summarized below:

- Documentation of information, as noted in subsequent sections of the report;
- Description of current and past uses of the Phase One Property;
- Description and discussion of the potentially contaminating activities;
- Description of the areas of potential environmental concern;
- Development of a Phase One conceptual site model;
- Discussion of the need, if any, for further investigation.

The information acquired from this interview is presented in Section 5.0 of the report.



4.0 RECORDS REVIEW

4.1 General

4.1.1 Phase One Study Area Determination

The Phase One Study Area consisted of properties located within a 250 metre radius of the Phase One Property. Based on information collected during the site reconnaissance, the following municipal addresses were included in the Study Area:

Direction	Property information
North	2134, 2150, 2156 and 2180 Hurontario Street Bronte College Road 88 Bronte College Road
East	Hurontario Street 2200 and 2170 Sherobee Road 2085-2097, 2191 Hurontario Street North Service Road
South	2090-2100 Hurontario Street, 2077-2087 Grange Drive Horbon Road
West	Grange Drive 2098 -2144 Grange Drive

Based on the historical property use and development on the Phase One Property and surrounding areas, it was determined that a 250 metre Study Area around the Property was sufficient to identify issues of potential environmental concern with respect to the Phase One Property.

Properties located beyond 250 metres of the Phase One Property boundaries were not included in the Phase One Study Area. The Phase One Study Area is presented in Figure 3.

4.1.2 First Developed Use Determination

The determination of first developed use for the Property is based on review of aerial photographs, historical maps and property records. The aerial photographs and historical maps suggest that the Phase One Property was an agriculture land prior to the 1940s and was developed in the 1950s and 1960s. According to the City of Mississauga on-line information, zoning and building permits, the properties located along Grange Drive have been used for residential purposes, and the properties located along Hurontario Street were used for residential purposes in stages (late 1960s and 1970s, and the early 1980s).



Therefore, it is determined that the property was developed in stages and used for agricultural purposes prior to the 1950s.

Based on chain of title information (Section 4.1.4), the properties located along Hurontario Street appear to have been owned by private individuals from pre-1859 to the late 1970s, and private companies since the 1970s. The properties located along Grange Drive have been owned by private individuals to either the present or to 2011, with the exception of the Property located at 2107 Grange Drive that has been owned by a private company since 1989.

4.1.3 Fire Insurance Plans and Insurance Inspection Reports and Plans

A search of Fire Insurance Plans was undertaken at the Metropolitan Toronto Reference Library. No Plans for the subject property and the adjoining properties were found.

4.1.4 Chain of Title

A chain of title search was formerly performed for the Phase One Property. Site ownership records dating back to 1872 were reviewed (Appendix A).

The following summarizes the chain of ownership of the Phase One property.

Address	Owner	Date Acquired	Date Transferred
2114 Hurontario Street	859513 Ontario Inc.	1989	Present
	Samara Group Investments Inc.	1991	1989
	Ley Hock Management Limited and individuals	1977	1991
	Private individuals	From pre-1859	1977
2124 Hurontario Street	RML 2124 Hurontario Limited	2008	Present
	Sahar Al Qusi	1980	2008
	Manna Family	1955	1980
	Ley Hock Management Limited and individuals	1977	
	Private individuals	From pre-1859	To 1977
2130 Hurontario Street	RML 2124 Hurontario Limited	2008	Present
	Younis Al Qawasmi	2006	2008

	Pasquale Manna	1980	2006
	Ley Hock Management Limited and individuals	1977	1980
	Private individuals	From pre-1859	To 1977
2095 Grange Drive	RML 2124 Hurontario Limited	2011	Present
	Patrick Lanboni	2002	2011
	Gibson Family	2000	2002
	Mils Family	1991	2000
	Private individuals	From pre-1859	To 1991
2107 Grange Drive	859513 Ontario Inc.	1992	Present
	Samara Group Inc.	1989	1992
	Walsh Family	1987	1989
	Eddie Family	1954	1987
	Private individuals	From pre-1859	To 1954
2113 Grange Drive	RML 2124 Hurontario Limited	2011	Present
	Patrick Lanboni	2002	2011
	Saunders Family	1996	2002
	Ferkul Family	1986	1996
	Private individuals	From pre-1859	To 1986
2121 Grange Drive	Richard Ruba	2010	Present
	Baran Family	1985	2010
	Private individuals	From pre-1859	To 1985

The review of the chain of title indicated that the properties have been owned primarily by private individuals.

4.1.5 Environmental Reports

According to the site representative no environmental report was available for the Phase One Property.



4.1.6 Review of Other Historical Information

City directories were reviewed at the Metropolitan Toronto Reference Library. The city directories (Might's Suburban, Toronto West and Northwest Suburban, Metro Toronto-Satellite Cities and Criss Cross) covered the period from 1958 to 2001. No directories were available prior to 1958 for the subject site. The first listing for the Phase One Property was in the 1962 Directory, where Grange Drive was constructed and occupied by residential houses including 2095 to 2121 Grange Drive.

The following summarizes the occupancy history of the Phase One Property based on the records review and the site visit.

Address	Summary of Occupancy
2114 Hurontario Street	Residential in 1970s
	Law office in 1973
	Brides Corner and Dress in the late 1980s
	Balloon Express in 1990s
	Martin Travel since 2000
	Unoccupied at the present
2124 Hurontario Street	Residential from pre-1975 to early 1980s
	Florist Shop from 1981 to the mid-1990s
	Bronte Foot Clinic in the late 1990s and 2000s
	Unoccupied at the present
2130 Hurontario Street	Residential from pre-1975 to 2001
	Unoccupied at the present
2095 Grange Drive	Residential since 1962
	Unoccupied at the present
2107 Grange Drive	Residential since 1962
2113 Grange Drive	Residential since 1962
2121 Grange Drive	Residential since 1962

The following summarizes the occupancy history of the Phase One Study Area based on the records review and the site visit.



Direction	Description and Current Land Use
North	<ul style="list-style-type: none">• 2134 Hurontario Street, residential and office since 1960s, law office at the present• 2150 to 2156 Hurontario Street, residential from 1967 to 1973, commercial from 1973 to 1985, redeveloped for commercial use in 1985, multi-unit office and commercial complex at the present. Occupied mostly by health related businesses and a flower shop.• 2180 Hurontario Street, funeral home since 1965• 88 Bronte College Road, Bronte College of Canada since 1991
East	<ul style="list-style-type: none">• Hurontario Street• 2200 and 2170 Sherobee Road , multi-unit residential since 1977• 2085 to 2097, 2191 Hurontario Street, multi-unit offices since 1975• North Service Road
South	<ul style="list-style-type: none">• 2090 to 2100 Hurontario Street, multi-unit commercial complex (neighbourhood shopping centre) since 1999, occupied primarily by food and health related businesses such as coffee shop, beauty salon, dental, medical care, Rabba, etc.,• 2077 to 2087 Grange Drive, residential prior to 2010. Redeveloped for residential purposes in 2010.• Horbon Road
West	<ul style="list-style-type: none">• Grange Drive• 2098 to 2144 Grange Drive, residential since 1966



4.2 Environmental Source Information

4.2.1 Ecolog ERIS Information

Ecolog Environmental Risk Information Services Ltd. (ERIS) is an organization that maintains and searches various government and private databases for property-related environmental information. A search of the Ecolog ERIS Ltd. databases was requested for the Phase One Property and properties located in the Phase One Study Area to assist in the identification of potential environmental concerns and contaminating activities. A copy of the Ecolog ERIS report is included in Appendix B.

The search within a 250 m radius identified one (1) listing for the Phase One Property and sixteen (16) listings for properties within the Phase One Study Area.

The records relating to the Phase One Property were found in the following database:

- ERIS Historical Searches

An ERIS historical search was completed in 2008 for the Phase One Property (2130 Hurontario Street).

The following records were found pertaining to the Phase One Study Area:

- Borehole
- Certificates of Approval
- Environmental Registry
- ERIS Historical Searches
- Ontario Regulation 347 Waste Generators Summary
- Scott's Manufacturing Directory
- Ontario Spills
- Water Well Information System

A summary of the information obtained from the Ecolog ERIS report is provided below. It is noted that this summary includes the Phase One Study Area within 250 m. Information regarding Ecolog ERIS databases (federal, provincial and private) is provided below:

FEDERAL DATABASES

- No information regarding the Phase One Property or Study Area was available in the Federal database search.



PROVINCIAL SOURCE DATABASES

Boreholes

According to the databases, two boreholes were reported in the Phase One Study Area. Boreholes were advanced for geotechnical/geological investigation to a maximum depth of 10.7 metres bgs on the property located north of the Phase One Property along Bronte College Court. Based on the information, the native soil at the Phase One area is glacial till. A review of the stratigraphic information provided did not indicate any issues of environmental concern.

Certificates of Approval

According to the databases, six Certificates of Approval for municipal water and sewage works were issued for the properties located within the Phase One Study Area. In addition, two Certificates of Approval (Air) were issued for the property located at 2085 Hurontario Street, east of the Property and 15 Bronte College Court, north of the Property.

Environmental Registry

According to the databases, the property located at 15 Bronte College Court, within 250 m radius north of the Phase One Property, was approved for discharge to the natural environment other than water (Air) in 2007 and 2008.

Ontario Regulation 347 Waste Generators Summary

The ERIS search identified database entries related to the Phase One Study Area. Information regarding the adjoining and neighbouring properties is listed in the following table.

Company	Address	Location from Site	Waste Type	Approval Years
Summerville Family Health Team	2090 Hurontario Street	Adjoining southern property	Pathological Waste	2010
Trillium Health Centre	2085 Hurontario Street	Adjoining southeastern property	Pathological waste, paint/pigment/ coating residues, waste oil and lubricants, Aliphatic solvents	2010
The Great West Life Assurance Company			Aliphatic solvents	2004-2010
Turner & Porter Funeral Directors	2180 Hurontario Street	150 m north of the Property	Pathological waste, oil skimmings and sludges, waste oils	1994-2010



Company	Address	Location from Site	Waste Type	Approval Years
Bronte College of Canada	88 Bronte College Court	100 m northwest of the Property	Inorganic sludges, waste organic chemicals	2010
Sheridan College	2186 Hurontario Street	180 m north of the Property	Pathological waste	1994-2001

Ontario Spills

According to the ERIS databases, four (4) spills were reported in the Phase One Study Area, within the 250 m search radius. The information regarding the spills is as follows:

Company	Address	Approx. Distance from Site (m)/Location to the site	Spill Confirmation and Date
Elf Atochem Canada Inc.	2055 Hurontario Street	Within 250 m southeast Property/200m	Confirmed land contamination from 800 L of washing liquid leak to HWY and parking lot in 1993
Waste Management Inc.	2200 Sherobee Road	Within 250 m northeast of the property	Contamination not anticipated from 25 L of hydraulic oil from broken truck house (pipe leak) in 1991
unknown	2100 Sherobee Road	Within 250 m east of the property	Confirmed air contamination from 375 LB refrigerant to atmosphere in 2007
PUC	2170 Sherobee Road Transformer Mississauga City	Within 250 m east of the property	Contamination not anticipated from 25 L oil in the vicinity of transformer, cooling system leak in 1989

PRIVATE SOURCE DATABASES

Historical Report

An ERIS historical search was completed for the Phase One Property (2130 Hurontario Street). In addition, an ERIS historical search was requested for several properties within a 250 m radius of the Property. This is an 'administrative' record and does not reflect any potential for adverse impact.

Scott's Manufacturing Directory

According to the ERIS report, the property located at 2085 Hurontario Street, approximately 100 m southeast of the Property, was listed by seven companies as a manufacturer of food products, books,



software, quick printing, machinery, etc. This is an office building occupied by multi-tenants and does not reflect any potential for adverse impact.

4.2.2 MOE Databases

A review was conducted of directories and on-line databases published by the MOE. These are related to registered PCB storage sites, waste disposal sites and the Brownfields Environmental Registry. The following summarizes the information obtained.

MOE's Waste Disposal Site Inventory

The Waste Disposal Site Inventory-Ontario-1991 indicated that the Phase One Property and Study Area are not listed as a former waste disposal facility. There are no active waste disposal sites located within a 1 km radius of the Phase One Property.

PCB Storage Site Inventory

The Ontario Inventory of PCB Storage Sites (1994, 1995, 1996, 1998, 1999 and 2004) did not list the Phase One Property and Study Area as PCB storage properties.

Coal Gasification Plant Waste Site Inventory

The Coal Gasification Plant Waste Sites in Ontario (April 1987) and Intera Technologies Ltd., Inventory of Coal Gasification Plant Waste Sites in Ontario, (April 1987 and November 1988), indicates that the Phase One Property had not been used for the gasification of coal. There is no record of historical coal gasification plants or disposal sites within a 1 kilometre radius of the Property.

Brownfields Environmental Site Registry

The MOE Brownfields Environmental Site Registry (BESR) indicates that no Records of Site Condition (RSCs) had been filed under Part XV.1 under the Environmental Protection Act (EPA) for the Phase One Property.

This information was confirmed in similar searches of these directories by Ecolog ERIS.

4.2.3 MNR National Heritage Information Centre Database

The Ontario Ministry of Natural Resources National Heritage Information Centre (HNIC) database was reviewed as part of this Phase One ESA. The Phase One Property was not identified as being located in a designated natural area.



4.2.4 City of Mississauga

According to the City of Mississauga, Schedule B, Map 15, the Phase One Property is located in an area designated as Residential and Office land use. The Phase One Study Area includes residential and commercial areas. Mary Fix Creek with Greenbelt Zoning is located over 100 m west of the Phase One Property (Appendix D).

4.2.5 Credit Valley Conservation

According to the Credit Valley Conservation (CVC), Terrestrial Monitoring Plots in the Credit River Watershed, the Property is located in the Lower Watershed.

4.2.6 Technical Standards and Safety Authority

The Technical Standards and Safety Authority (TSSA) maintains records related to storage tanks for petroleum related products. The TSSA was contacted to review records related to the Phase One Property and Study Area. According to Mr. Prem Lal of TSSA, there is no information related to the Phase One Property and Study Area properties on file with the TSSA.

4.2.7 Ontario Ministry of the Environment

Information from the Ontario Ministry of the Environment was reviewed as part of the Ecolog ERIS database search, which is summarized in Section 4.2.1. In particular, information on Certificates of Approval, Compliance and Convictions, Waste Disposal Sites, PCB Storage Sites, and Waste Generators were reviewed.

4.2.8 Hydro PCB Inquiry

A request for information was not made to the local hydro provider. There are no wet transformers located at the Property. The structures present at the Property have been used for residential or office purposes. During a site visit, the transformers in the buildings were observed to be dry-type transformers. No other electrical equipment which would potentially contain PCBs was identified at the Phase One Property, as noted in Section 6.



4.3 Physical Setting Sources

4.3.1 Aerial Photographs and Historical Mapping

Aerial photographs obtained from the Ministry of Natural Resources and the City of Mississauga on-line mapping dating 1944, 1954, 1963, 1966, 1971, 1975, 1977, 1978, 1980, 1985, 1989, 1992, 1995, 1997, 1999, and 2000 to 2010, and an Ontario Base Map (OBM) from 1982, were reviewed to obtain a record of the development and use of the subject and surrounding properties. Copies of selected areas are presented in Figures 3 through 7. The findings are summarized in following table:

Reference	Phase One Property	Phase One Study Area
1954 Air Photo (Figure 4)	Based on the scale of the photo, a detailed description of the Property was not possible. However, the Property was occupied by some structures covered with trees	Surrounding areas were generally developed with the exception of the eastern properties that appeared to be used for agricultural purposes
1966 Air Photo (Figure 5)	Low-rise structures were observed at the location of the current structures on the Property	Low-rise structures on the eastern properties
1971 Air Photo (Figure 6)	No major changes to the Property	Horbon Road was constructed south of the Phase One Property. Further developments were observed to the east and south of the Property
1978 Air Photo (Figure 7)	No significant change since 1971	No significant change since 1971 with exception of development of the northeastern properties.
1982 Ontario Base Map (Figure 3)	Several low-rise residential-type structures were documented on the Phase One Property	Low-rise structures interpreted as residential were observed on the Phase One Study Area. Several high-rise structures were observed north and northeast of the Property
1978-2010 Air Photos 2004 Aerial Photo (Figure 8)	No significant change to the Property	High-rise structures were observed on the northeastern properties

The review of the historical map and aerial photographs indicated that the Phase One Property was partially developed for residential purposes in the 1950s.

4.3.2 Topography, Hydrology, Geology

The Phase One Property and Study Area are located in a mixed residential, institutional and commercial area of Mississauga.



Based on the 1982 Ontario Base Map information, the ground surface is at approximately 102 m geodetic elevation that decreases towards the south and southwest. The property is located approximately 27 metres above the level of Lake Ontario. The Credit River is located approximately 2 km southwest of the Property.

Based on the Survey Plan of the Property prepared by Avanti Surveying Inc., dated June 2011, the Property has an elevation of 102.76 m which decreases to 102.29 m to the southeast and 100.22 m to the southwest.

According to the topographic map of the site, Map 30 M/12, 7th Edition, Brampton, which covers the Property, the ground surface at the vicinity of the site slopes in a southwesterly direction. The nearest water features are the Credit River, located approximately 2 km southwest of the Property, and Cooksville Creek, located less than 0.5 km east of the Property. An un-named branch of the Credit River is located approximately 100 m west of the Property. Regionally, the ground surface slopes down to the southwest.

According to the geological map entitled “Quaternary Geology of Ontario-Southern Sheet” Map 2556, published by the Ministry of Northern Development and Mines, dated 1991, the overburden in the region of the subject property consists of some Halton Till from the Ontario-Erie lobe. This material is generally characterized as a silt to silty-clay till.

According to the bedrock geology map entitled “Bedrock Geology of Ontario-Southern Sheet” published by the Ministry of Northern Development and Mines, dated 1991, the bedrock in the area consists of Upper Ordovician, Queenston Formation. The Queenston Formation consists of shale, limestone, dolostone and siltstone. It should be noted that the subsurface soil, rock and ground water conditions described above represent generalized conditions only, and should not be considered site specific.

4.3.3 Fill Materials

Based on a records review (e.g., historical maps, aerial photos) extensive placement, stockpiles or deposits of fill materials were not noted on the Phase One Property.

4.3.4 Water Bodies and Areas of Natural Significance

There are no lakes, ponds or lagoons on the Phase One Property. The Phase One Property is located in a commercial/residential/institutional area of the City of Mississauga.



4.3.5 Well Records

Water well records were also searched as part of the EcoLog ERIS database query. Two records of wells were found on the north and eastern properties. No information regarding Lot or Concession was available. The two wells appeared to each have a maximum depth of 10.7 m and were drilled in 1971 and 1962 (respectively) in a sand and silty till and clay material. Gray shale and limestone was encountered below 8.7 m.

Both of the wells were located within an area that is currently serviced with lake-based municipal water by the Region of Peel. The well records are presented in the ERIS report provided in Appendix B.

4.4 Site Operating Records

No site operating records were available for review. The Phase One Property has been used for residential and office purposes.



5.0 INTERVIEWS

5.1 Personnel Interviewed

The interview was conducted on January 12, 2012 with Mr. Joseph Metcalfe, Development Manager of Edenshaw Homes Ltd.

The following summarizes the information that was provided in response to the questionnaire, based on the knowledge of site activities:

- The Phase One Property was developed in 1950s or 1960s for residential purposes.
- There have been no major renovations or additions to the buildings since they were originally constructed, with the exception of the property located at 2095 Grange Drive, which was under renovation during the site visit.
- Site activities involved no use of chemicals with the exception of domestic cleaning detergents.
- No information regarding the previous heating systems of the buildings was available. The structures located along Grange Drive were heated by natural gas. During the site visit, an above-ground fuel storage tank was observed on the property located at 2114 Hurontario Street.
- There have been no previous surveys related to asbestos-containing materials.
- The site is not registered with the MOE as a waste generator.
- There have been no complaints or notices of violation issued against the Phase One Property by any regulatory agency.

The evaluation of information regarding the interviews is summarized below:

Interview Conducted By	Ms. Shafi Andseta, Ph.D., P.Geo., QP Terraprobe
Interviewed	Mr. Joseph Metcalfe, owner's representative
Date/location	January 12, 2012, at the Phase One Property
Reason for Selection	Knowledgeable or familiar with Property history and building operation.
Assessment of information	The information provided by site representative appeared to be sufficient due to the familiarity with the Property
The discussion provided the following information.	According to the site representative, no activities of potential environmental impact to the Property are anticipated.



6.0 SITE RECONNAISSANCE

6.1 General Requirements

Date of Investigation:	January 12, 2012
Time of Investigation:	2:30 p.m. - 4:30 p.m.
Weather Conditions:	sun cloud mix, -7° C
Duration of Investigation:	~2 hours
Was the facility operating?	The properties located along Grange Drive were occupied by tenants, with the exception of the property located at 2095 Grange Drive that was vacant and under interior renovation. The properties located along Hurontario Street were unoccupied and partially demolished.
Name and Qualification of Person(s) conducting the assessment	Shafi Andseta, Ph.D, P.Geo., QP _{ESA-RA}
Limitations	Based on very poor and unsafe conditions of the properties located along Hurontario Street, the inspection was minimal. At the time of the site inspection, access to the residential houses located at 2107-2121 Grange Drive was not available. The inspection was limited to the exterior of the structures. The interior of the buildings were observed from windows located at front and rear of the buildings

6.2 Specific Observations at Phase One Property

A visual site inspection was conducted and written, and photographic records were made. The layout of the Phase One Property at the time of the site visit is presented in the Site Plan, Figure 2. Photographs of the Phase One Property and accompanying descriptions are presented in Appendix C.

6.2.1 General Description

At the time of the site inspection, there were seven (7) buildings on the Phase One Property currently used for residential purposes or unoccupied. Information regarding the Phase One Property is provided in the following table:

Address	General Description
2114 Hurontario Street	Unoccupied abandoned building. Very poor condition, partially demolished, broken walls, ceilings, floors, etc. The area in the vicinity of building footprint was covered with asphalt, grass or some bushes and trees.
2124 Hurontario Street	Unoccupied abandoned building. Very poor condition, partially demolished. During the site visit, it was noted that doors and some windows in main floor were covered by plywood. The area in the vicinity of building footprint was covered with asphalt, grass or some bushes and trees.
2130 Hurontario Street	Unoccupied abandoned building. Very poor condition, partially demolished. The area in the vicinity of building footprint was covered with asphalt, grass or some bushes and trees.
2095 Grange Drive	During the site visit the building was under renovation. The renovation was observed to be to the floor tiles and painting the walls.
2107 Grange Drive	Residential with a backyard at the rear of the building, eastern portion of the property. Grass covered landscape areas were observed at front and rear of the building. Some tall trees along driveway and Grange Drive. Asphalt driveway was located at front of the garage unit of the building
2113 Grange Drive	Residential with a backyard at the rear of the building, eastern portion of the property. Grass covered landscape areas with some trees were observed at front and rear of the building. Asphalt driveway was located at front of the garage unit of the building
2121 Grange Drive	Residential with a backyard at the rear of the building, eastern portion of the property. Grass covered landscape areas were observed at front and rear of the building. Asphalt driveway was located at front of the garage unit of the building

Access to the buildings located along Hurontario Street is via an asphalt driveway from Hurontario Street. Access to the buildings located along Grange Drive is via an asphalt driveway from Grange Drive, via Harbon Road.



6.2.2 Building Description

The following summarizes in general the interior finishes and the roofs of the buildings.

Walls	finished drywall, stucco, bricks or concrete walls
Floors	Carpet, vinyl floor, linoleum, ceramic or cement
Ceilings	Drywall, plaster, acoustic ceiling tiles
Lighting	incandescent fixtures and fluorescent
Exterior	Metal or wood-clad siding, bricks, concrete blocks and stucco
Roof	Asphalt shingles

6.2.3 Exterior Site Conditions

Areas in the vicinity of the building footprints are generally covered with asphalt, concrete or grass.

6.2.4 Below Ground Structures

Each structure has a single-level basement.

6.2.5 Above-Ground Storage Tanks

One above-ground storage tank (AST) was observed at the property located at 2114 Hurontario Street. The tank was located southeast of the exterior corner of the building on a grass-covered area. The tank appeared to be rusty. No secondary containment was provided for the observed AST. The vicinity of the tank was covered by bushes and tall trees. No information regarding the previous heating system of the other structures at the Property was available; currently the rest of the buildings are heated by natural gas.

6.2.6 Underground Storage Tanks

No underground storage tanks (USTs) or evidence of underground storage tanks was observed on the Phase One Property at the time of the site inspection.



6.2.7 Water Sources

According to the site representative, municipal water is provided to the Phase One Property and Study Area by the City of Mississauga.

6.2.8 Underground Utilities and Services

The inspection of the Property indicated the following information related to utility services:

- Overhead hydro lines are observed along Hurontario Street and Grange Drive. Underground hydro is interpreted for the Phase One Property and surrounding area.
- Natural gas meters were observed at the buildings located on Grange Drive and 2124 and 2130 Hurontario Street.
- Phone and cable services are available for the entire Phase One Property and Study Area.
- Catch basins were observed on both streets. These indicate the presence of a municipal storm drain to the Phase One Property and Study Area.
- Manholes were located on Hurontario Street. This is an indication that the Phase One Property is currently connected to the municipal sanitary sewer system.

6.2.9 Building Exit and Entry Points

There is one exit and one entry point for each of the structures present on the Phase One Property. However, due to the poor condition of the buildings located along Hurontario Street, access to the buildings is unsafe.

6.2.10 Heating and Cooling Systems

The heating system of each of the buildings is currently natural gas, with the exception of the building located at 2114 Hurontario Street, which used fuel oil. Ground floor-type air-conditioning units were observed at the buildings located along Grange Drive.

6.2.11 Drains, Pits and Sumps

The Phase One Property is currently serviced by the City of Mississauga sanitary sewer system. A drainage ditch is located along the western Property boundary. No pits were observed at the Phase One Property at time of the site visit.



6.2.12 Unidentified Substances

No unidentified substances were noted on the Phase One Property during the site visit.

6.2.13 Staining and Corrosion

During the site visit, no staining or corrosion was observed on the properties located along Grange Drive. Buildings located along Hurontario Street were in poor condition.

6.2.14 Wells

The Phase One Property is serviced by municipal water. During the site visit, no water supply wells were observed on the Phase One Property.

6.2.15 Sewage Works

The subject Property is currently serviced with municipal storm and sanitary sewers. The surrounding area is also serviced with municipal sewers.

6.2.16 Ground Surface

The ground surface was not obstructed or frozen at the time of the site inspection. The portion of the Phase One Property not occupied by the building is mainly covered by grass or bushes. A small portion of the property consists of asphalt-paved driveways and parking areas.

6.2.17 Railways

No rail lines were observed on the Phase One Property.

6.2.18 Stained and Odorous Soils

No stained or odorous soil was noted on the Phase One Property.

6.2.19 Stressed Vegetation

No areas of stressed vegetation were identified on the Phase One Property at the time of the site inspection.



6.2.20 Fill Materials

The Property located at 2113 Grange Drive has an elevated surface and is located in a higher elevation than Grange Drive. However, the Phase One Property did not appear to have been significantly built up with fill materials. Fill material could have been used at the subject site during the construction of the buildings, grading, or for landscaping purposes observed at the Phase One Property. Potential environmental impacts from the possible presence of the fill material at the Phase One property are anticipated to be low. During the site visit, stockpiled fill materials consisting of construction debris from demolition processes were observed at the rear of the buildings located at 2114 and 2124 Hurontario Street.

6.2.21 Watercourses, Ditches or Standing Water

No natural watercourses or standing water was noted on the Phase One Property. A ditch is located along the eastern portion of the Property.

6.2.22 Air Emissions

No air emission sources were located on the Phase One Property.

6.2.23 Roads, Parking Facilities, and Rights-of-Way

Hurontario Street is located to the east of the Property and Grange Drive is located to the west of the Property. No easements or Rights-of-Way were identified on the Property.

6.2.24 Special Attention Items

Special attention items include designated substances and hazardous materials that may be present in building materials. The building inspection was carried out in accessible areas. The inspection included assessment of the potential presence of:

- designated substances (acrylonitrile, asbestos, arsenic, benzene, coke oven emissions, ethylene oxide, isocyanates, lead, mercury, silica, vinyl chloride);
- hazardous materials (polychlorinated biphenyls (PCBs);
- ozone depleting substances (ODS);
- urea formaldehyde foam insulation (UFFI);



- special attention items (mould, Radioactive Materials and Radon Gas).

Special Attention Items	Notes
Acrylonitrile, arsenic, benzene, coke oven emissions, ethylene oxide, isocyanates, silica, vinyl chloride	These items were not observed at the Phase One Property. The presence of the special attention items in building/construction materials was investigated through observations made by Terraprobe and does not necessarily imply adverse impact to the environmental condition of the Phase One Property.
Asbestos	Based on the age of the buildings (1950s, 1960s), the potential for asbestos-containing materials is considered to be high at the Property. During the site visit, suspected asbestos-containing materials were observed in building materials such as vinyl floor tiles, linoleum flooring, plaster or stucco walls, etc. The records review of the Phase One Property indicated that no asbestos survey of the buildings had been conducted.
Polychlorinated Biphenyls (PCBs)	No PCB-containing electrical equipment was observed in the building.
Lead	Based on the age of the buildings, lead-based paint might be present in the buildings. Plumbing joints may also contain lead-based solder. During the site visit, paint on the walls of buildings located along Hurontario Street were in a poor condition.
Ozone Depleting Substances (ODS):	Based on the age of the buildings, observation and interviews during the site visit, equipment containing ODS appeared to be limited to refrigerators present in the kitchens of the residential buildings, and to air-conditioning units.
Urea-Formaldehyde Foam Insulation (UFFI)	No record of UFFI was available for the Phase One site buildings.
Mercury	Based on the age of the buildings, mercury could be present in fluorescent lights. Mercury in small quantities could also be present inside the electrical switches or thermostats observed in the buildings.
Mould	Based on observations made, mould appeared to be in buildings located at 2114 and 2124 Hurontario Street.
Radioactive Materials & Radon Gas	No radiation sources were observed. Man-made sources of radioactive materials or equipment were not observed in the buildings during the site visit.
Herbicides and Pesticides	Herbicides or pesticides could have been used for landscaping purposes.

6.2.25 Potentially Contaminating Activities

The residential or commercial activities at the Phase One Property are not considered to be directly contaminating activities. However, the building located at 2114 Hurontario Street has been heated by fuel oil. Fuel oil could have been used in other properties based on the age of the buildings that were constructed in the 1950s or 1960s.



6.3 Enhanced Investigation Property

Based on the activities noted and historical records review, the Property is not considered to be an Enhanced Investigation Property, in accordance with Section 32.1(b) of Regulation 153/04 ((as amended)).

6.4 Investigation of Phase One Study Area

The following land uses were noted in the Phase One Study Area.

Direction	Description and Current Land Use
North	2134 Hurontario Street, law office (commercial) 2150- 2156 Hurontario Street ,multi-unit office and commercial complex 2180 Hurontario Street, funeral home under major construction (commercial) Bronte College Road 88 Bronte College Road, Bronte College (institutional)
East	Hurontario Street 2200 and 2170 Sherobee Road (residential) 2085-2097, 2191 Hurontario Street, multi-unit offices (commercial) North Service Road
South	2090-2100 Hurontario Street, multi-unit commercial complex 2077-2087 Grange Drive (residential) Horbon Road
West	Grange Drive 2098 -2144 Grange Drive (residential)

6.5 Written Description of Investigation

The site reconnaissance included a walking tour of the Property conducted on January 12, 2012. Mr. Metcalfe of Edenshaw Homes Limited was also present for the site inspection. The tour consisted of an inspection of the exterior areas of the Phase One Property. The inspection also included the interior of the selected units of the Property. Written and photographic records regarding the condition of the Phase One Property were compiled.

During the site visit, potentially contaminating activity observed on the Phase One Property included a fuel oil heating system of the building located at 2114 Hurontario Street.

There was no obvious evidence that historical site activities had resulted in adverse impact to the environmental condition of the Phase One Property.



7.0 REVIEW AND EVALUATION OF INFORMATION

7.1 Current and Past Uses

Current and past uses of the Phase One Property have been determined primarily on the basis of the information provided in the air photographs, topographic mapping, chain of title, and conversations with the owner's representative. These are summarized below:

Address	Owner/Year	Description of Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, Etc.
2114 Hurontario Street	859513 Ontario Inc./ 1989 to present	Unoccupied at present	The Study Area properties were used for agricultural purposes with low-rise structures prior to 1950s. Developments were observed along Hurontario Street in 1950s. The area located northeast of the Property appeared to be developed in 1960s and 1980s. In general, the Phase One Study area has been used for residential, institutional and office purposes. No industrial properties were observed in the Phase One Study Area
	Samara Group Investments Inc./ 1991 to 1989	Commercial since 1973	
	Ley Hock Management Limited and individuals/ 1977 to 1991		
	Private individuals/ from pre-1859 to 1977	Residential prior to 1973. Agricultural in 1940s	
2124 Hurontario Street	RML 2124 Hurontario Limited/ 2008 to Present	Unoccupied at present	
	Sahar Al Qusi/1980 to 2008	Commercial	
	Manna Family,1955 to 1980	Residential prior to 1980. Agricultural in 1940s	
	Ley Hock Management Limited and individuals in1977		
	Private individuals/ from pre-1859 to 1977		
2130 Hurontario Street	RML 2124 Hurontario Limited/ 2008 to present	Unoccupied at present	
	Younis Al Qawasmi/ 2006 to 2008	Residential and commercial	
	Pasquale Manna/1980 to 2006		
	Ley Hock Management Limited and individuals/1977 to 1980		
	Private individuals/ from pre-1859 to 1977	Residential Agricultural prior to 1940s	
2095 Grange Drive	RML 2124 Hurontario Limited/ 2011 to present	Unoccupied at present	
	Patrick Lanboni/ 2002 to 2011	Residential	
	Gibson Family/2000 to 2002		



	Mills family/1991 to 2000	
	Private individuals/ from pre-1859 to 1991	Agricultural prior to 1940s
2107 Grange Drive	859513 Ontario Inc./ 1992 to present	Residential
	Samara Group Inc./ 1989 to 1992	
	Walsh Family/1987 to 1989	
	Eddie Family/1954 to 1987	
	Private individuals/ from pre-1859 to 1954	Residential Agricultural prior to 1940s
2113 Grange Drive	RML 2124 Hurontario Limited/ 2011 to present	Residential
	Patrick Lanboni/ 2002 to 2011	
	Saunders Family/ 1996 to 2002	
	Ferkul Family/ 1986 to 1996	
	Private individuals/ from pre-1859 to 1986	Residential Agricultural prior to 1940s
2121 Grange Drive	Richard Ruba/ 2010 to present	Residential
	Baran Family/1985 to 2011	
	Private individuals/ from pre-1859 to 1987	Residential Agricultural prior to 1940s

7.2 Potentially Contaminating Activity

	Potentially Contaminating Activity and Issues of Concerns
Phase One Property	<ul style="list-style-type: none"> presence of above-ground fuel oil storage tank at the Phase One Property, potential for contamination from handling and storing fuel oil at the Property presence of DSHM in the building materials
Phase One Study Area	<ul style="list-style-type: none"> na



The historical records review of the Phase One Property revealed that the Property was not a waste generator site. Several properties located in the Phase One Study Area were listed in the Ecolog ERIS report as waste generator sites. Potential environmental impacts from these properties listed in the Ecolog Eris report (based on their proximity to the Phase One Property and the mostly health-related nature of the businesses) are considered to be low.

7.3 Areas of Potential Environmental Concern

7.3.1 Phase One Property

The following table summarizes the potential environmental concerns identified in the Phase One Property.

Areas of Potential Environmental Concern(APEC)	Potential Contaminating Activity	Description of Location	Contaminants of Potential Concern	Media Potentially Impacted	Relative degree of Environmental Risk
Current presence of fuel storage tanks at the Property Unknown history of the heating systems of the buildings present at the Property	Loss of product	Outside of the building located at 2114 Hurontario Street	F1 to F4 petroleum hydrocarbons, VOCs, PAH	Soil and ground water	Medium to low
Uneven surface	Presence of possible fill	Western properties	Metals and inorganics	Soil and ground water	Low
Based on the age of the buildings (prior to 1950s or 1960s), possible presence of designated substances and hazardous materials (DSHM) in the building materials	Use of asbestos, lead, mercury, etc. in the buildings	Building materials	DSHM	na	Medium

7.4 Phase One Conceptual Site Model

The conceptual site model has been based on the information presented above (see Sections 7.1, 7.2 and 7.3). The Conceptual Site Model (Figure 3) identifies the locations of areas where potentially contaminating activities may result in adverse impact to the environment, soil and ground water on or below the Phase One Property.



Area	Issue	Contaminants of Potential Concern
Phase One Property		
A	Historical and current presence of fuel storage tank at the Property	Petroleum hydrocarbons; BTEX, VOCs, PAH
B	Uneven surface, presence of possible fill	Metals and inorganics
C	Based on the age of the buildings 1960s, possible presence of designated substances and hazardous materials (DSHM) in the building materials	DSHM such as asbestos, lead, mercury and mould
Phase One Study Area		
A	na	na

Underground Utilities: Several underground utilities exist at the property. Based on the locations of the services with respect to the issues of potential environmental concern that have been identified on the Property, and the locations where potentially contaminating activities have been carried out, the potential for underground utility trenches to affect contaminant distribution and transport is considered to be low.

Regional and Hydrogeological Information: Section 4.3.2 provides details on the regional geology and hydrogeology. The near surface soil at and in the vicinity of the Phase One Property generally consists of glacial till. The till is underlain by the Upper Ordovician Queenston Formation, which consists of shale with limestone and dolomite.

The near surface/shallow ground water flow direction below the Phase One Property is interpreted to be to the southwest, towards the Credit River situated approximately 2 km to the southwest of the Property.



8.0 CONCLUSIONS

The results of the Phase One ESA have identified the following potential issues of potential environmental concern related to the Phase One Property. These are summarized below:

Area	Issue	Recommendation	Rationale
Phase One Property			
A	Historical and current presence of fuel storage tanks at the Property	A Phase Two ESA, including boreholes and monitoring wells for soil and ground water sampling	Identify quality of the soil and ground water at the Property
B	Uneven surface, presence of possible fill		To facilitate determination of ground water flow direction at Phase One Property
C	Based on the age of the buildings (1960s), possible presence of designated substances and hazardous materials (DSHM) in the building materials	A DSHM survey of the buildings present at the Property	Prior to any demolition or major renovation activities, Terraprobe recommends a designated substances survey of the buildings to identify the locations of potential designated substances that require special handling prior to and during the demolition process. The information is to be provided to a demolition contractor, as required by the <i>Occupational Health and Safety Act (OHSA)</i> and the Canada Labour Code Part II.
Phase One Study Area			
	na	na	na

Refer to Figure 3 (Conceptual Site Model).

A Phase Two Environmental Site Assessment is recommended to investigate issues of potential environmental concern that have been identified on the Phase One Property which may have resulted in adverse impact to the environmental condition of the Phase One Property. It is our opinion that, although potential issues of environmental concern have been identified, the potential for adverse impact to the environmental condition of the Phase One Property is considered to be low based on the historical use of the Property for agricultural or residential purposes.

It is our opinion that the absence of information, specifically any outstanding responses from the regulatory agencies, will not significantly affect the validity of the conceptual site model.



9.0 REFERENCES

Information in the Public Domain

- Ontario Geological Survey, 1980. Quaternary Geology: Toronto and Surrounding Area, Southern Ontario. Ontario Geological Survey Preliminary Map P.2204, scale 1:100,000.
- Ontario Geological Survey, 1991. Bedrock geology of Ontario, southern sheet; Ontario Geological Survey, Map 2544, scale 1:1,000,000.
- Topographic Map of Markham (30M/14, 9th addition) that covers the Phase One Property, 1985
- Historical Maps (aerial photos from 1946 to 2009, Ontario Base Map, 1982)
- Credit Valley Conservation
- City Directories (Criss-Cross) from 2001 back to 1950
- Inventory of Coal Gasification Plant Waste Sites in Ontario, 1987
- Inventory of Industrial Sites Producing or Using Coal Tar and Related Tars in Ontario, 1998
- Ontario Inventory of PCB Storage Sites, 1994-2004
- Waste Disposal Site Inventory, 1991
- City of Mississauga Online-Services

Commercial Databases

- Ecolog ERIS - review of 50 provincial, federal and private environmental databases for the Phase One Property and Phase One Study Area (250 metre radius)



10.0 LIMITATIONS AND USE OF THE REPORT

This report was prepared for the exclusive use of Gordon Woods Development Limited, and Edenshaw Homes Limited, and is intended to provide an assessment of the environmental condition on the properties located at 2114, 2124 and 2130 Hurontario Street and 2095, 2107, 2113 and 2121 Grange Drive, in the City of Mississauga, Ontario.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. Terraprobe Inc. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, including consequential financial effects on transactions or property values, or requirements for follow-up actions and costs.

The assessment should not be considered a comprehensive audit that eliminates all risks of encountering environmental problems. The information presented in this report is based on information collected during the completion of the Phase One Environmental Site Assessment by Terraprobe Inc. It is based on the conditions on the Phase One Property at the time of the site inspection supplemented by a review of historical information to assess the environmental conditions on the Phase One Property, as reported herein.

Sampling and analysis of soil, ground water or any other material was not carried out as part of this assessment. Consequently, the presence and/or extent of any adverse environmental impact cannot be verified. The potential for environmental liability and/or environmental impact is an opinion that has been arrived at within the scope of this assessment.

In assessing the environmental conditions / history of the Phase One Property, Terraprobe Inc. has relied in good faith on information provided by others, as noted in this report, and has assumed that the information provided by those individuals is factual and accurate. Terraprobe Inc. accepts no responsibility for any deficiency, misstatement or inaccuracy in this report resulting from the information provided by those individuals.

There is no warranty expressed or implied by this report regarding the environmental status of the Phase One Property. Professional judgment was exercised in gathering and analysing information collected by our staff, as well as that submitted by others. The conclusions presented are the product of professional care and competence, and cannot be construed as an absolute guarantee.

In the event that during future work new information regarding the environmental condition of the Phase One Property is encountered, or in the event that the outstanding responses from the regulatory agencies



indicate outstanding issues on file with respect to the Phase One Property, Terraprobe Inc. should be notified in order that we may re-evaluate the findings of this assessment and provide amendments, as required.

We trust this report meets with your requirements. Should you have any questions regarding the information presented, please do not hesitate to contact our office.

Yours truly,

Terraprobe Inc.

Shafi Andseta, Ph.D., P.Geo., QP_{RA}
Senior Project Manager

James L. McCourt, M.A.Sc., P.Eng., QP_{ESA}
Associate



11.0 QUALIFICATIONS OF THE ASSESSOR

James L. McCourt, M.A.Sc., P. Eng.

Mr. McCourt is a Project Engineer and Associate of Terraprobe with over 12 years of experience in the environmental field. Mr. McCourt has managed numerous projects including Phase I and Phase II Environmental Site Assessments, Risk Assessments and site remediations. Mr. McCourt is a Qualified Person under O.Reg. 153/04 for submitting Records of Site Condition. He holds a Bachelor of Applied Science in Chemical Engineering, and a Master of Applied Science in Civil Engineering, both from the University of Waterloo.

Shafi Andseta, Ph.D., P.Geo., QP_{RA}

Dr. Andseta is Senior Project Manager in the Environmental Services Department of Terraprobe Inc.'s Head Office located in Brampton, Ontario. Dr. Andseta has over 20 years of experience in the academic, private and government sectors. Her areas of expertise include environmental site assessments, geology, geomorphology and hydrogeology. She also specializes in designated substances and hazardous material and asbestos management projects. Dr. Andseta has managed numerous environmental projects within Ontario and, in addition, has coordinated Environmental Projects of the Post-Graduate Diploma students at Sheridan College, Brampton, Ontario. Dr. Andseta is a Qualified Person under O.Reg. 153/04 for submitting Records of Site Condition.

Terraprobe Inc.

Terraprobe is a consulting engineering firm that was established in 1977. The head office is located in Brampton, Ontario. Branch office locations include Stoney Creek, Barrie, and Sudbury. Terraprobe holds certificates of practices / licences to provide environmental consulting services with both the Professional Engineers of Ontario and the Association of Professional Geoscientists of Ontario.

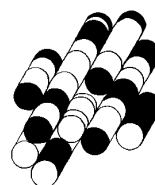
Statement of Qualified Person

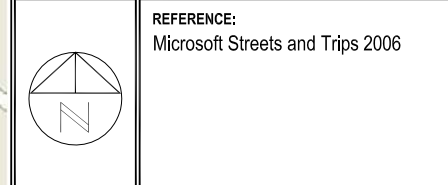
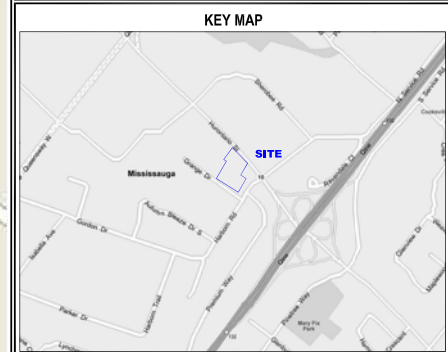
The Phase One Environmental Site Assessment has been completed under the direction and supervision of Shafi Andseta, Ph.D., P.Geo., QP_{RA}. The findings and conclusions presented in this report have been determined on the basis of the information that was obtained and reviewed, and on an assessment of the existing conditions on the Phase One Property and properties within the Phase One Study Area.



FIGURES

TERRAPROBE INC.





NOTES:

LEGEND:

PROJECT TITLE:

Phase One Environmental Site Assessment

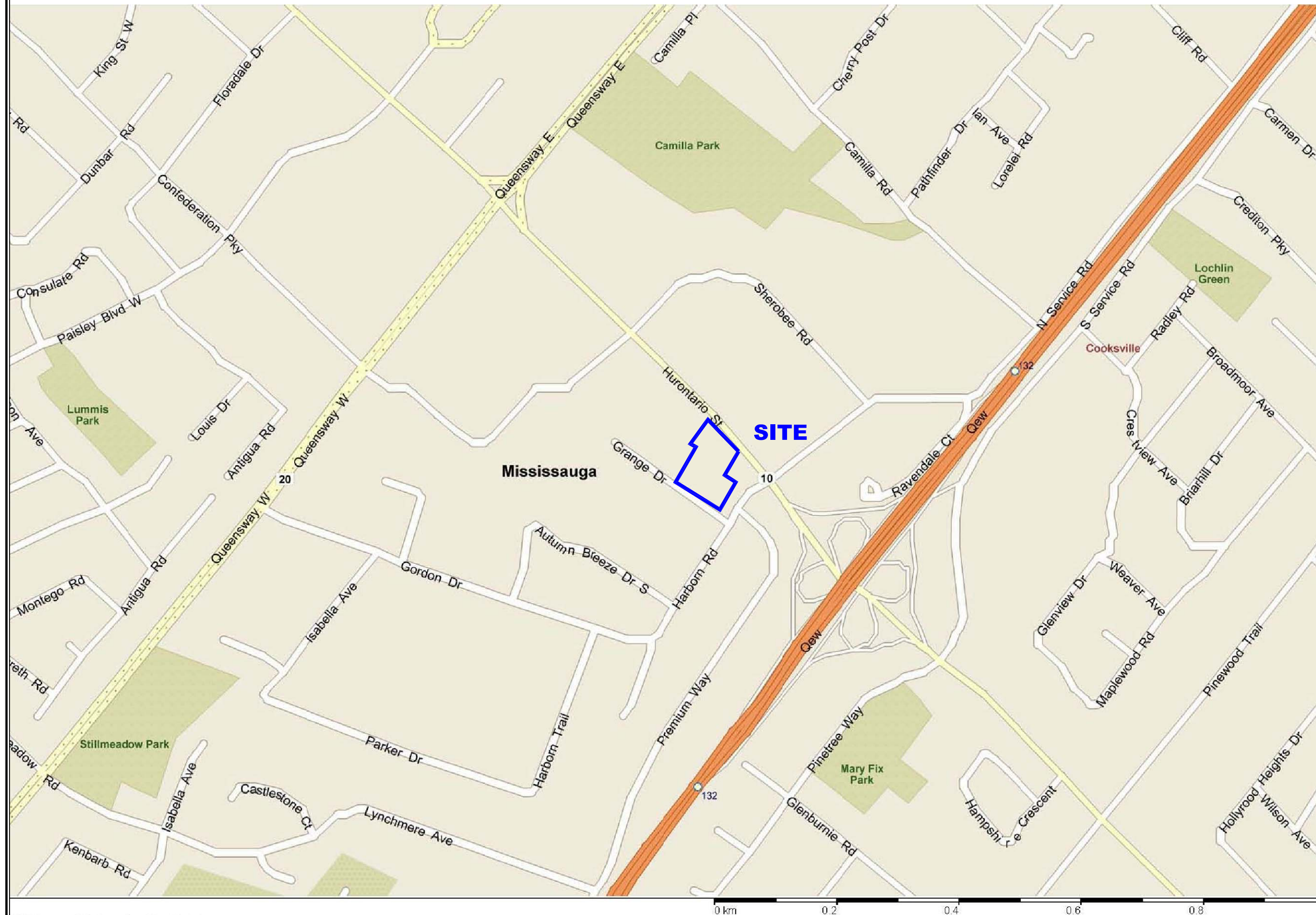
SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON

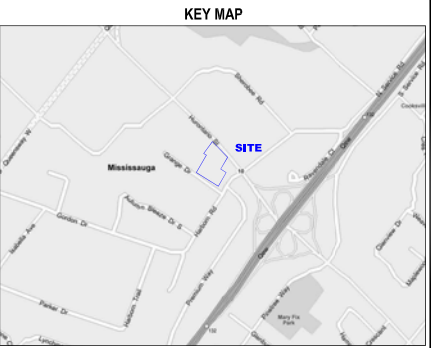
FIGURE TITLE:

SITE LOCATION PLAN

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: As Shown	FIGURE NO.: 1
DATE: Jan 23, 2012	



REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	
DATE: Jan 23, 2012	FIGURE NO.: 2





REFERENCE:

NOTES:

LEGEND:

PROJECT TITLE:

Phase One Environmental Site Assessment

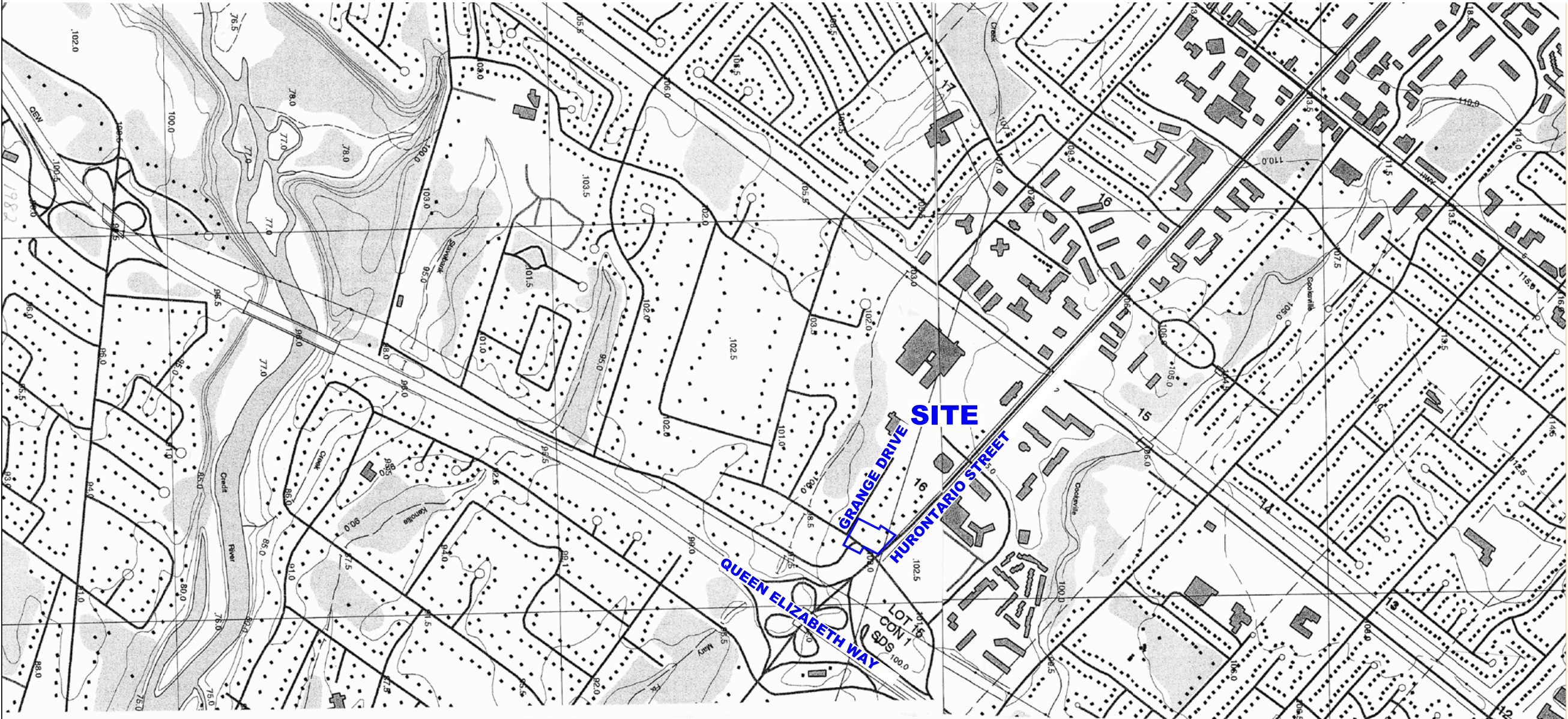
SITE LOCATION:

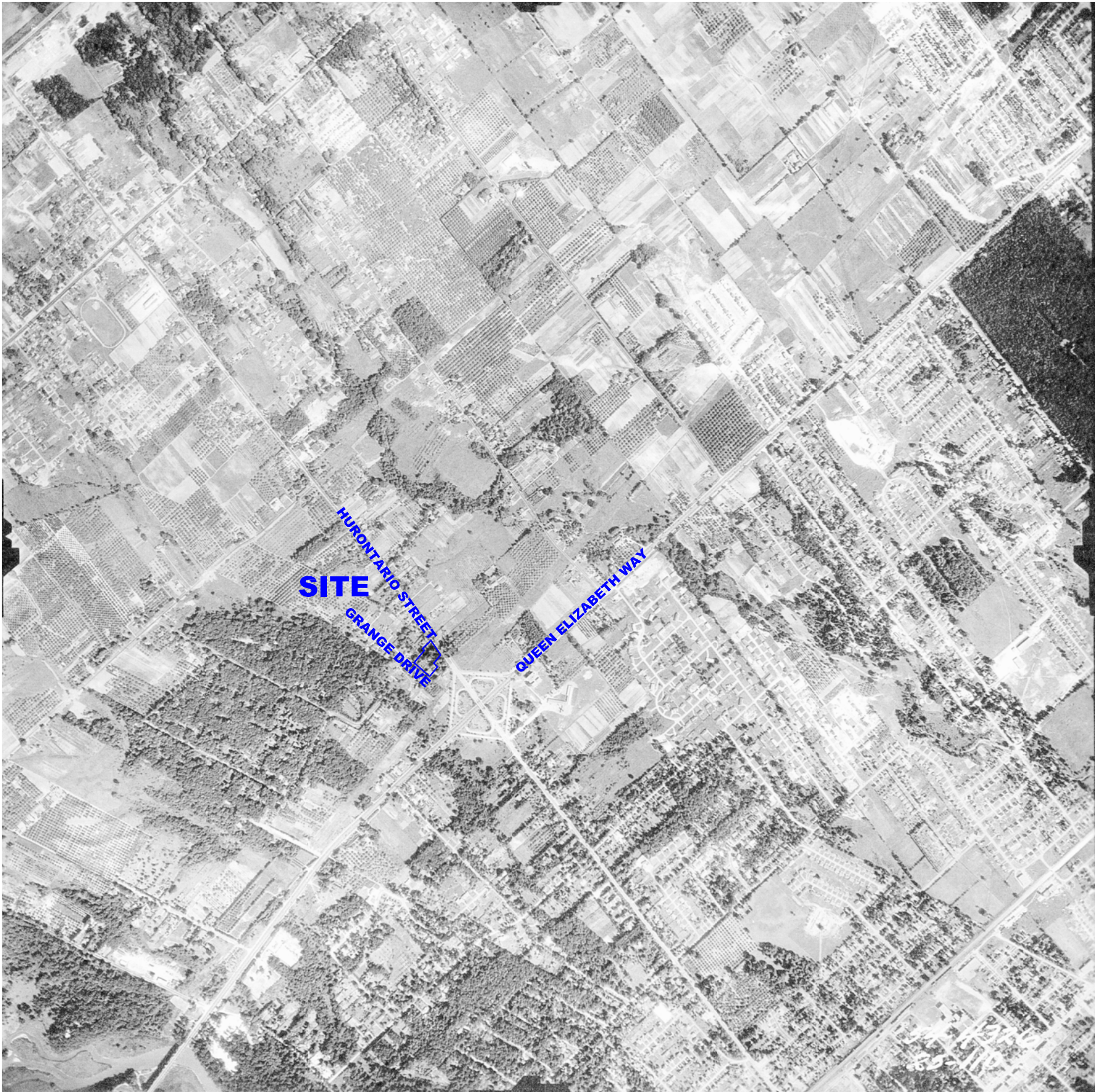
Hurontario Street and Grange Drive,
Mississauga, ON

FIGURE TITLE:

ONTARIO BASE MAP 1982

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	FIGURE NO.: 3
DATE: Jan 23, 2012	







REFERENCE:

NOTES:

LEGEND:

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PROJECT TITLE:

Phase One Environmental Site Assessment

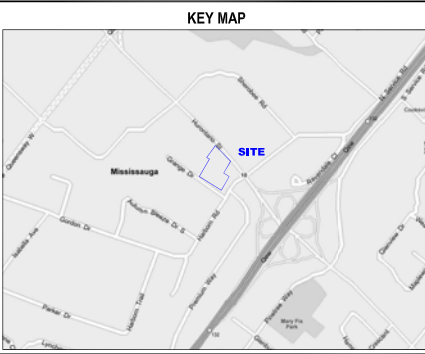
SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON

FIGURE TITLE:

AERIAL PHOTOGRAPH 1954

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	FIGURE NO.: 4
DATE: Jan 23, 2012	



REFERENCE:

NOTES:

LEGEND:

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PROJECT TITLE:

Phase One Environmental Site Assessment

SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON

FIGURE TITLE:

AERIAL PHOTOGRAPH 1966

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	FIGURE NO.: 5
DATE: Jan 23, 2012	





REFERENCE:

NOTES:

LEGEND:

PROJECT TITLE:

Phase One Environmental Site Assessment

SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON


FIGURE TITLE:

AERIAL PHOTOGRAPH 1971

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	FIGURE NO.: 6
DATE: Jan 23, 2012	







REFERENCE:

NOTES:

LEGEND:

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PROJECT TITLE:

Phase One Environmental Site Assessment

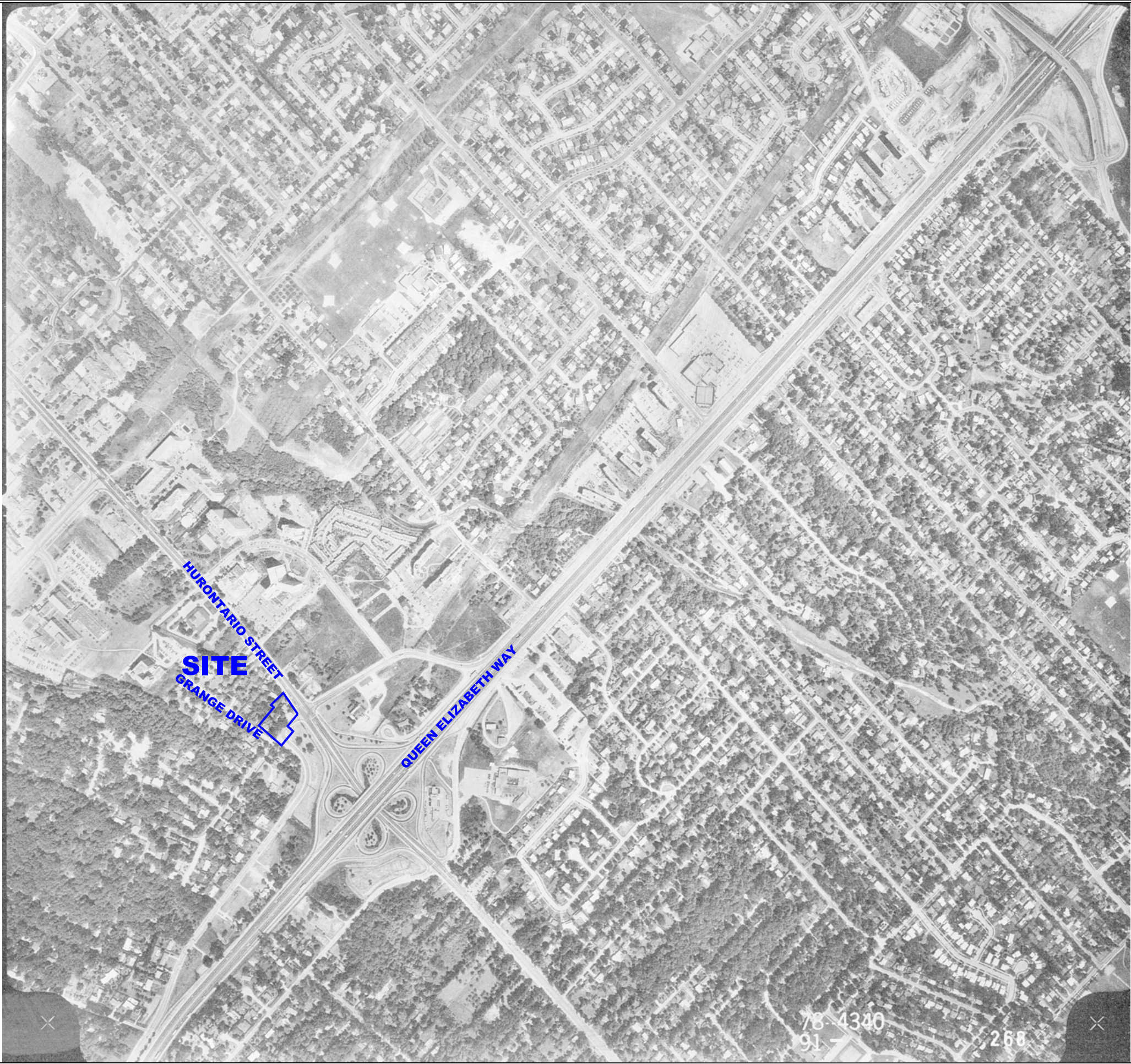
SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON


FIGURE TITLE:

AERIAL PHOTOGRAPH 1978

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: NTS	FIGURE NO.: 7
DATE: Jan 23, 2012	









Terraprobe Inc.
Consulting Geotechnical & Environmental Engineering
Construction Materials, Inspection & Testing
11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650

KEY MAP





REFERENCE:

NOTES:

LEGEND:

PROJECT TITLE:

Phase One Environmental Site Assessment

SITE LOCATION:

Hurontario Street and Grange Drive,
Mississauga, ON

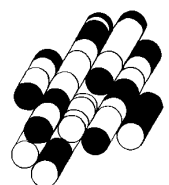
FIGURE TITLE:

AERIAL PHOTOGRAPH 2004

REV NO.: 0	FILE NO.: 13-11-6210
SCALE: As Shown	FIGURE NO.: 8
DATE: Jan 23, 2012	

APPENDIX A

TERRAPROBE INC.



LAND
REGISTRY
OFFICE #43

13358-0083 (LT)

PAGE 1 OF 1
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:47:49

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: LT 17, PL C24 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0176

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

RABBA, RICHARD

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **</p>						
RO718712	1985/07/02	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	BARAN, RON BARAN, EUGENIA	
RO1063793	1994/04/29	CHARGE		*** COMPLETELY DELETED ***	UKRAINIAN CREDIT UNION LIMITED	
PR1868139	2010/07/30	TRANSFER	\$780,000	BARAN, EUGENIA BARAN, RON	RABBA, RICHARD	C
PR1910755	2010/10/26	DISCH OF CHARGE		*** COMPLETELY DELETED *** UKRAINIAN CREDIT UNION LIMITED		
REMARKS: RO1063793.						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
26484	Grant	27 July 1925	10 Aug. 1925	Wm. Rein Wadsworth	Mildred A. Wadsworth	1.00 AC.	All & O. L.
32864	Grant	22 May 1930	9 June 1930	Mildred A.A. Wadsworth	Ada May	1.00 AC.	All & O. L.
308	By-Law	2 Feb. 1924	22 July 1941	Re: Closing Part of road opened by By-Law 450.			
SEE DEPOSIT NO. 1237.							
48379	Grant	13 May 1946	6 Sept. 1946	Ada May	Ella C. Manning	4500.00	All & O. L.
52395	Grant	7 Oct. 1946	14 May 1948	Ella C. Manning	The Orangeville Engineering Co. Ltd.	6250.00	All & O. L.
53556	Grant	22 May 1948	14 Sept 1948	The Orangeville Engineering Co. Ltd.	Mercy Bunney & George Bunney , as joint tenants	850.00	All.
53897	Grant	8 Oct. 1948	21 Oct. 1948	George D. Bunney & Evelyn M. Bunney	The Prudential Insurance Co. of America	6500.00	All 7/4/68
54640	Grant	1 Feb. 1949	2 Feb. 1949	Mercy Bunney & George Bunney	Housing Corporation Limited	1249.25	All 7/4/68
366	BY-LAW	12 OCT./49	3 JULY/50	RE SUBDIV. CONTROL			
70195	Grant	26 Sept 1952	22 Oct. 1952	George D. Bunney & Mercy E. Bunney	Sun Life Assurance Co.	4500.00	All
71228	D.M.	17 Nov. 1952	28 Nov. 1952	Housing Corp. Ltd.	Mercy Bunney & George Bunney		discharging No. 54640 7/4/68
71229	D.M.	17 Nov. 1952	28 Nov. 1952	The Prudential Insurance Co. of America	George D. Bunney & Evelyn M. Bunney		discharging No. 53897 7/4/68
426	BY-LAW	1 JUNE/54	9 JUNE/54	RE SUBDIV. CONTROL			
90437	Grant	29 Aug. 1955	2 Sept. 1955	George D. Bunney & Mercy E. Bunney	Gordon B. Tuck & Edna M. Tuck, as joint tenants	2.00 AC.	All
148085	Grant	15 Aug 1962	20 Aug 1962	Gordon B. Tuck & Edna M. Tuck	Alexander W. Milne & Edith Milne as joint tenants	2.00 AC.	All
148086	MORTGAGE	1 Aug 1962	20 Aug 1962	Alexander W. Milne & Edith Milne	Bank of Montreal	10,000.00	All
148085	D.M.	20 Aug 1962	20 Aug 1962	Bank of Montreal	George D. Bunney & Evelyn M. Bunney		DISCHARGED BY No. 1635/945
160720VS	Grant	31 July 1970	22 Jan 1971	Alexander W. Milne & Edith Milne	The Director the Veterans Land Act.	2.00 AC.	all
1635915	D.M.	13 Feb. 1971	26 Feb. 1971	Hall & Rock Ltd	Alexander W. Milne & Edith Milne		discharging 1/10 148086
421675	Ant	17 Feb. 1971	23 Feb. 1971	Maurice A. Conant	Alexander W. Milne & Edith Milne		Re No. 160720VS
718711	Grant	22 Oct 1985	22 Oct 1985	The Director the Veterans Land Act			all

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
718712	Grant		02 07 85	MSINA, Edith A.	BARAN, Ron BARAN, Eugenia as JT		all
718718	MORT		02 07 85	BARAN, Ron BARAN, Eugenia	UKRAINIAN Credit Union Ltd. Union Ltd.		754334
712763	MORT		03 03 86	BARAN, Ron BARAN, Eugenia	UKRAINIAN (Toronto) Credit Union Ltd.	75,000.00	all
910039	Mortgage		09 11 84	BARAN, Ron BARAN, Eugenia	UKRAINIAN Credit Union Ltd.	507,500.00	A11 DISCHARGED BY RO 1063793 ASSY 09/11/85 C 94-6-8
RD 1063793	Charge		94 04 29	BARAN, Ron BARAN, Eugenia	Ukrainian Credit Union Limited	75,000.00	A11

NOTICE
All Document/Instruments
subsequent to

DEC 23 1996

are recorded in the automated abstract
index set out in subsection 21(5) of the
REGISTRY ACT

NOTICE

All Document/Instruments
subsequent to

NOV 19 1996

are recorded in the automated abstract
index set out in subsection 21(5) of the
REGISTRY ACT



Ontario

ServiceOntario

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0084 (LT)

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PAGE 1 OF 2

PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:48:42

2113 Gang

PROPERTY DESCRIPTION: PT LT 18, PL C24 , PART 4 , 43R18068; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0177

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

RML 2113 GRANGE DRIVE LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **						
43R18068	1990/09/04	PLAN REFERENCE				C
RO1128660	1996/11/15	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	SAUNDERS, GLORIA PATRICIA JEAN	
RO1128661	1996/11/15	CHARGE		*** COMPLETELY DELETED ***	THE TORONTO-DOMINION BANK	
LT1916153	1999/02/26	CHARGE		*** COMPLETELY DELETED *** SAUNDERS, GLORIA PATRICIA JEAN	THE TORONTO-DOMINION BANK	
PR118399	2001/08/03	CHARGE		*** COMPLETELY DELETED *** SAUNDERS, GLORIA PATRICIA JEAN	THE TORONTO-DOMINION BANK	
PR267560	2002/06/27	TRANSFER		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0084 (LT)

PAGE 2 OF 2
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:48:42

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
		REMARKS: PLANNING ACT STATEMENTS		SAUNDERS, GLORIA PATRICIA JEAN	BALOGH, JULIANNA CAPPADOCIA, ROBERT FRANK	
PR267561	2002/06/27	CHARGE		*** COMPLETELY DELETED *** BALOGH, JULIANNA CAPPADOCIA, ROBERT FRANK	NATIONAL BANK OF CANADA	
PR324182	2002/10/01	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
		REMARKS: RE: R01128661				
PR350737	2002/11/22	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
		REMARKS: RE: PR118399				
PR350775	2002/11/22	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
		REMARKS: RE: LT1916153				
PR1368920	2007/11/08	TRANSFER		*** COMPLETELY DELETED *** BALOGH, JULIANNA CAPPADOCIA, ROBERT FRANK	IABONI, PATRICK	
		REMARKS: PLANNING ACT STATEMENTS				
PR1368921	2007/11/08	CHARGE		*** COMPLETELY DELETED *** IABONI, PATRICK	HSBC BANK CANADA	
PR1396625	2008/01/02	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL BANK OF CANADA		
		REMARKS: RE: PR267561				
PR2003156	2011/05/13	TRANSFER	\$748,000	IABONI, PATRICK	RML 2113 GRANGE DRIVE LIMITED	C
		REMARKS: PLANNING ACT STATEMENTS				
PR2013912	2011/06/02	DISCH OF CHARGE		*** COMPLETELY DELETED *** HSBC BANK CANADA		
		REMARKS: PR1368921.				

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Lot 18

NO. 5874

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
26484	Grant	27 July 1925	10 Aug. 1925	Wm. Rein Wadsworth	Mildred A. Wadsworth	1.00 N.L. & A.	All & O. L. (C24)
32864	Grant	22 May 1930	9 June 1930	Mildred A.A. Wadsworth	Ada May	1.00 N.C.	All & O. L.
308	By-Law	2 Feb. 1924	22 July 1941	Re: Closing Part of road opened by By-Law 480;			
SEE DEPOSIT NO. 1337.							
48379	Grant	13 May 1946	6 Sept. 1946	Ada May	Ella C. Manning	4500.00	All & O. L.
52395	Grant	7 Oct. 1946	14 May 1948	Ella C. Manning	The Orangeville Engineering Co. Ltd.	6250.00	All & O. L.
53755	Grant	30 July 1948	27 Oct. 1948	The Orangeville Engineering Co. Ltd.	Guerita Gardner & Garnet A. Gardner, as joint tenants	850.00	All
366	BY-LAW	12 OCT. 49	3 JULY 50	RE SUBDIV. CONTROL			
63451	Grant	30 June 1951	13 July 1951	Guerita Gardner & Garnet A. Gardner	Harry Rosewarne & Thelma Rosewarne, as joint tenants	2.00 N.C.	All
66969	Grant	26 Mar. 1952	14 Apr. 1952	Harry Rosewarne & Thelma Rosewarne,	Wallace V. MacLean & Mary E. MacLean, on joint account	3500.00	All 7/1/52
67731	Agreement	8 May 1952	19 May 1952	Wallace V. MacLean & Mary E. MacLean	Harry Rosewarne & Thelma Rosewarne		Amending terms of a mortgage dated March 26, 1952. 7/1/52
426	BY-LAW	1 JUNE 54	9 JUNE 54	RE SUBDIV. CONTROL			
102506	Grant	20 Mar. 1957	22 Mar. 1957	Harry Rosewarne & Thelma Rosewarne	James H. Dellow	2700.00	All
102643	Grant	20 Mar. 1957	16 Apr. 1957	Wallace V. MacLean & Mary E. MacLean	Harry Rosewarne & Thelma Rosewarne		discharging 66969 7/1/52
425449	Grant	1 Apr. 1977	1 Apr. 1977	Harry Rosewarne & Thelma Rosewarne	William E. P. Doyle & Madeline J. Doyle as joint tenants	200.00	All
425450	MORTGAGE	29 Mar. 1977	1 Apr. 1977	William E. P. Doyle & Madeline J. Doyle	Harry Rosewarne & Thelma Rosewarne on joint account	6200.00	All DISCHARGED BY 612695 7/1/52
561152	Grant	12 Sept. 1980	15 Oct. 1980	William E. P. Doyle & Madeline J. Doyle	Madeline J. Doyle	200.00	All N.L. & A.
589509	Grant	31 Oct. 1981	8 Nov. 1981	DOYLE, Madeline J. DOYLE, William E. P. as Third Party	WALKINSHAW, Charles B. WALKINSHAW, Linda J. JT	12.00	All
589510	Mort	31 Oct. 1981	8 Nov. 1981	WALKINSHAW, Charles B. WALKINSHAW, Linda J.	DOYLE, Madeline J.	28,000.00	All DISCHARGED BY 612695 7/1/52
612696	Mort	30 Dec. 1981	27 Jan. 1982	WALKINSHAW, Charles B.	Charles B. Walkinshaw	28,000.00	All

LOTS SUBDIVIDED Pt. 1, Range 3, C.I.R.

PLAN NO. C-24

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
615423	agmt H.	30 07 82		Douglas Macdonald T.	Canada Trust Co Mortgage Co.	1.00	To postpone Mgtg no 589510 in favor of 612696
656604	Agreement	01 09 83		WALKINSHAW, Charles B. WALKINSHAW, Linda J.	CANADA Trust Co Mortgage Co.	\$1.00	Amending MORT 612696 11/16
683929	MORT.	10 06 84		WALKINSHAW, Charles B. WALKINSHAW, Linda J.	McLaren Dominion Bank 766334	18,000.00	all 21
758293	Grant	30 06 86		WALKINSHAW, Charles B. WALKINSHAW, Linda J.	FERKUL, Stanley		All.
43R-18068	Reference Plan	90 09 04	YR MON DAY				Parts 4 and 5 - All as in 758293 O.L.
970727	Grant	91 05 21		FERKUL, Stanley	Samara Group Investments Inc. as to an undivided one-half int. 859513 Ontario Inc. as to an undivided one-half int.	65,000.00	Part designated as Part 5 on Plan 43R-18068, Consent Re Planning 5.1 JC and
	Deposit	91 05 21		See deposit No. 970728			Part 5 on Plan 43R-18068.
970729	Grant	91 05 21		Samara Group Investments Inc. as to an undivided one-half interest 859514 Ontario Inc. as to an undivided one-half interest	Samara Group Investments Inc. as to an undivided 50% interest 859513 Ontario Inc. as to an undivided 50% interest	32,500.00	Part designated as Part 2 on Plan 43R-18068. Consent Re: The Planning Act. JC and R
970730	Mort	91 05 21		SAMARA Group Investments Inc. 50% interest 859513 Ontario Inc. 50% interest	Central Guaranty Trust Co.	415,949.66	Part designated as Parts 1, 2, & 5 on Plan 43R-18068.

Discharged by # 201009165 Asst. Dep. Land Reg. M.R. 9/20/88

**Abstract Index
Répertoire par lot**

Lot 18

Plan/Concession C-24

Page 2



Registration Number Numéro d'inscriptions	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
R01005137	Grant	92 05 06	SAMARA Group Investments Inc.	859513 Ontario Inc.	299,324.65	Pt & OL designated as pts 1,2 & 5 on 43R-18068
R01005138	Mort	92 05 06	859513 Ontario Inc.	SAMARA Group Investments Inc.	25,000.00	Pt & OL designated as pts 1,2 & 5 on 43R-18068
R01035403	Mort	93 04 19	FERKUL, Stanley	National Trust Co.	300,000.00	Pt designated as pt 5 on 43R-18068
				Discharged by 70/11/26 27 Not Not 1 and Not 026/06/20		
R01128660	Transfer	96 11 15	FERKUL, Stanley	SAUNDERS, Gloria Patricia Jean	\$190,000.00	Part designate as pt 4 on 43R-18068
R01128661	Charge	96 11 15	SAUNDERS, Gloria Patricia Jean	The Toronto-Dominion Bank	\$100,000.00	Part designated as pt 4 on 43R-18068

NOTICE
All Document/Instruments
subsequent to

NOV 13 1996

are recorded in the subject abstract
index set out in subsection 21(5) of the
REGISTRY ACT

NOTICE
All Document/Instruments
subsequent to

DEC 23 1996

are recorded in the subject abstract
index set out in subsection 21(5) of the
REGISTRY ACT

Continued on Sheet 3 of page



Ontario

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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0085 (LT)

PAGE 1 OF 1

PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:49:21

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 19, PL C24 , PART 3 , 43R18068 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0178

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

859514 ONTARIO INC.

CAPACITY SHARE

BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **						
RO918565	1989/11/22	CHARGE	\$243,750		THE TORONTO-DOMINION BANK	C
43R18068	1990/09/04	PLAN REFERENCE				C
RO1005139	1992/05/05	TRANSFER	\$111,000		859514 ONTARIO INC	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
26484	Grant	27 July 1925	10 Aug. 1925	Wm. Rein Wadsworth	Mildred A. Wadsworth	1.00 N.L. & A.	All & O. L.
32864	Grant	22 May 1930	9 June 1930	Mildred A.A. Wadsworth	Ada May	1.00 C.	All & O. L.
48379	Grant	13 May 1946	6 Sept. 1946	Ada May	Ella C. Manning	4500.00	All & O. L.
52395	Grant	7 Oct. 1946	14 May 1948	Ella C. Manning	The Orangeville Engineering Co. Ltd.	6250.00	All & O. L.
54155	Grant	30 Apr. 1948	22 Nov. 1948	The Orangeville Engineering Company Limited	Jean G. McMurray & Edward McMurray, as joint tenants	800.700	All
54156	Grant	16 Nov. 1948	22 Nov. 1948	Jean G. McMurray & Edward McMurray	Henry V. McMurray & Audrey L. McMurray, as joint tenants	1000.00	All
57929	Grant	9 Feb. 1950	25 Feb. 1950	Henry V. McMurray & Audrey L. McMurray	Donald B. MacLeod	1250.00	All
366	BY-LAW	12 OCT./49	3 JULY/50	RE SUBDIV. CONTROL			
75830	Grant	31 July 1953	10 Aug. 1953	Donald B. MacLeod	Donald B. MacLeod & Kathleen D. MacLeod, as joint tenants	1.00 N.L. & A.	All
75159	Grant	24 Nov. 1953	30 Nov. 1953	Donald B. MacLeod & Kathleen D. MacLeod	The Equitable Life Insurance Co. of Canada	7500.00	All
79638	Grant	26 Feb. 1954	9 Mar. 1954	Donald B. MacLeod & Kathleen D. MacLeod	Helen Eddie	1.00 C.	All
426	BY-LAW	1 JUNE/54	9 JUNE/54	RE SUBDIV. CONTROL			
176145015	MORTGAGE	12 July 1971	14 July 1971	Christina Little	Helen Eddie		DISCHARGED BY NO. 176445015
58126205	Grant	27 Jan. 1976	28 Jan. 1976	The Corporation of the City of Mississauga	Helen Eddie	2,841.50	
568718	Grant	31 Dec. 1980	13 Jan. 1981	The Corporation of the City of Mississauga		0.00	To discharge no. 58126205
806909	Grant	22 Oct. 87		EDDIE, Mary N. E. Estate of	WALSH, Margaret A. LAWTON, Ellen J. as J.P.		all

LOTS SURDIVIDED Pt. 1, Range 3, C.L.R.
806909

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
882056	Grant		07 02 89	WALSH, Margaret Ann LAWTON, Glen Felix	WALSH, Margaret Ann	-----	A11
			year month day				
918564	Grant		83 11 22	WALSH, Margaret Ann	SAMARA Group Investments Inc. as to undivided 1/2 interest 859514 Ontario Inc. as to undivided 1/2 interest	\$325,000.00	A11
918565	Mort		89 11 22	SAMARA Group Investments Inc. 859514 Ontario Inc.	THE Toronto-Dominion Bank	\$243,750.00	A11
43R-18068	Reference Plan		90 09 04				Parts 2 and 3 - A11 as in 918564 O.L.
970729	Grant		91 05 21	Samara Group Investments Inc. as to an undivided one-half interest 859514 Ontario Inc. as to an undivided one-half interest	Samara Group Investments Inc. as to an undivided 50% interest 859513 Ontario Inc. as to an undivided 50% interest	32,500.00	Part designated as Part 2 on Plan 43R-18068. Consent Re: The Planning Act.
970730	Mort		91 05 21	Samara Group Investments Inc. as to an undivided 50% interest 859513 Ontario Inc. as to an undivided 50% interest	Central Guaranty Trust Co.	415,949.66	Part & O.L. designated as parts 1, 2, 3 & 5 on Plan 43R-18068
					Discharged by RD1009165 Asst. Dep. Land Reg. 2/1/88		
R01005137	Grant		92 05 06	SAMARA Group Investments Inc.	859513 Ontario Inc.	299,324.65	Pt & O.L. designated as pts 1, 2 & 5 on 43R-18068
R01005138	Mort		92 05 06	859513 Ontario Inc.	SAMARA Group Investments Inc.	25,000.00	Pt & O.L. designated as pts 1, 2 & 5 on 43R-18068

Page 2

10321 (88)



Ontario

ServiceOntario

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0086 (LT)

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PAGE 1 OF 3

PREPARED FOR SHAFI ANDSETA

ON 2012/01/05 AT 10:49:58

2095 Grange

PROPERTY DESCRIPTION: LT 20, PL C24; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0179

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

RML 2095 GRANGE DRIVE LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **						
RO968500	1991/04/26	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	MILLS, HANS MILLS, DONNA MARIE	
RO968501	1991/04/26	CHARGE		*** COMPLETELY DELETED ***	ROYAL BANK OF CANADA	
RO1035057	1993/04/14	TRANSFER OF CHARGE		*** COMPLETELY DELETED ***	ROYAL TRUST CORP. OF CANADA	
REMARKS: RO968501						
RO1114221	1996/05/13	NOTICE		*** COMPLETELY DELETED *** OWNERS	THE CONSUMERS' GAS COMPANY LTD.	
REMARKS: LEASE OF CHATTELS						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
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13358-0086 (LT)

PAGE 2 OF 3
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:49:58

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
RO1ERR4221	1996/05/13	NOTICE OF LEASE		*** COMPLETELY DELETED ***	MILLS, HANS MILLS, DONNA MARIE	
		REMARKS: RO1114221 -ERROR ENTRY, CANCELLED BYCINDY CABRAL ON 2002/05/27				
LT2033432	2000/01/07	CHARGE		*** COMPLETELY DELETED *** MILLS, HANS MILLS, DONNA MARIE	CIBC MORTGAGES INC., TRADING AS FIRSTLINE MORTGAGES	
PR32282	2001/01/11	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL TRUST CORPORATION OF CANADA		
		REMARKS: RE: RO968501				
PR99963	2001/06/29	CHARGE		*** COMPLETELY DELETED *** MILLS, DONNA MARIE MILLS, HANS	CANADIAN IMPERIAL BANK OF COMMERCE	
PR249479	2002/05/28	DISCHARGE INTEREST		*** COMPLETELY DELETED ***	THE CONSUMERS' GAS COMPANY LTD.	
		REMARKS: RE: RO1114221				
PR254376	2002/06/03	TRANSFER		*** COMPLETELY DELETED *** MILLS, DONNA MARIE MILLS, HANS	GIBSON, DAVID GIBSON, CHRISTA	
PR254377	2002/06/03	CHARGE		*** COMPLETELY DELETED *** GIBSON, DAVID GIBSON, CHRISTA	CIBC MORTGAGES INC.	
PR258085	2002/06/10	DISCH OF CHARGE		*** COMPLETELY DELETED *** CANADIAN IMPERIAL BANK OF COMMERCE		
		REMARKS: RE: PR99963				
PR301280	2002/08/23	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC., TRADING AS FIRSTLINE MORTGAGES		
		REMARKS: RE: LT2033432				
PR1367328	2007/11/06	TRANSFER		*** COMPLETELY DELETED *** GIBSON, CHRISTA GIBSON, DAVID	IABONI, PATRICK	
PR1367329	2007/11/06	CHARGE		*** COMPLETELY DELETED *** IABONI, PATRICK	THE TORONTO-DOMINION BANK	

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Ontario

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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0086 (LT)

PAGE 3 OF 3
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:49:58

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR1367345	2007/11/06	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** IABONI, PATRICK	THE TORONTO-DOMINION BANK	
		REMARKS: PR1367329				
PR1374366	2007/11/19	DISCH OF CHARGE		*** COMPLETELY DELETED *** CIBC MORTGAGES INC.		
		REMARKS: RE: PR254377				
PR2003152	2011/05/13	TRANSFER	\$750,000	IABONI, PATRICK	RML 2095 GRANGE DRIVE LIMITED	C
		REMARKS: PLANNING ACT STATEMENTS				
PR2015927	2011/06/06	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
		REMARKS: PR1367329.				

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
2138460	D.M.	5 Dec 1975	11 June 1977	Ernest J. Canterbury	Ralph V. MacMillan & Allison J. MacMillan		Discharged by 157601
22373045	D.M.	21 Aug 1972	29 Aug 1972	Ralph V. MacMillan	National Trust Company Limited	\$1,000.00	all. Reserving
22373045	D.M.	21 July 1972	3 Aug 1972	Allison J. MacMillan	Company Limited		Discharged by 581313
22373045	D.M.	21 July 1972	3 Aug 1972	Ralph V. MacMillan & Allison J. MacMillan	Ralph V. MacMillan & Allison J. MacMillan		Discharging no. 157601
497678	Grant	6 Nov 1978	23 Nov 1978	Ralph V. MacMillan, & Allison J. MacMillan	William C. P. Doyle, & Madeleine Doyle as joint tenants	\$200+c	all.
497679	MORTGAGE	7 Nov 1978	23 Nov 1978	William C. P. Doyle and Madeleine Doyle	The Bank of Nova Scotia	\$25,000.00	all. DISCHARGED BY 581313
497681	Deposit	21 Sept 1980	15 Oct 1980	William C. P. Doyle, & Madeleine Doyle	DOYLE, William C. P. & DOYLE, Madeleine	\$200+c	all.
581313	D.M.	15 Oct 1981	06 Oct 1981	THE Bank of Nova Scotia	DOYLE, William C. P. & DOYLE, Madeleine		discharging M. 497679
581314	Grant	15 Oct 1981	06 Oct 1981	DOYLE, Madeleine & DOYLE, William C. P. 3rd part	MEADE, Mark D.		200+c all
581315	Grant	15 Oct 1981	06 Oct 1981	MEADE, Mark D. & MEADE, Judith A. 3rd part	DOYLE, Madeleine	\$200+c	all.
604359	Deo	16 Oct 1982	03 Oct 1982	MEADE, Mark D. & MEADE, Judith A. 3rd part	MEADE, Mark D. & KINGSWAY Real Estate Ltd. (P)		Discharged by 149845 Asst. Dep. Land Reg. 64
608074	Cent	04 Oct 1982	05 Oct 1982	VARILAROS, Beverly (P)	MEADE, Mark D. and KINGSWAY Real Estate Ltd. (P)		some title or question, all vacated by 608074 To vacate 604359
608075	Deposit	04 Oct 1982	05 Oct 1982	Re: 581314.	KOUTSARIS, Terry	\$200+c	all.
608076	Grant	04 Oct 1982	05 Oct 1982	MEADE, Mark D. & MEADE, Judith C. 3rd part	KOUTSARIS, Terry		all is ordered that defendant is hereby restrained on all 4 0% outside bel.
611172	Cent	14 Oct 1982	06 Oct 1982	TAYLOR, Dianne	KOUTSARIS, Terry		

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
702579	Grant Dudar		04 01 85	d.b.o.			all + O.L. outside Pub
745847	MORT		13 03 86	KOUTSARIS, Jerry	Scotia Mortgage Corporation	112,500.00	all Discharged by # 760502 Asst. Dep. Land Reg. 7/1/87
753183	GRANT		27 05 86	KOUTSARIS, Jerry	DUDAR, Michael DUDAR, Stella J.T.		all
755432	Mort		12 06 86	DUDAR, Michael DUDAR, Stella	ST Mary's (Toronto) Credit Union Ltd.	60,000.00	all Discharged by # 907622 Asst. Dep. Land Reg. 10/1/87
776402	Mort		07 11 86	DUDAR, Michael DUDAR, Stella	ST Mary's (Toronto) Credit Union Ltd.	125,000.00	all Discharged by # 919240 Asst. Dep. Land Reg. 10/1/87
909192	Mort.		Yr Mch Day 09 09 86	DUDAR, Michael DUDAR, Stella	St. Mary's Toronto Credit Union Limited	175,000.00	A11 Discharged by # 1078443 Asst. Dep. Land Reg. 10/1/87
968500	Grant		91 04 26	DUDAR, Michael DUDAR, Stella	MILLS Hans MILLS, Donna Marie as JT	245,000.00	A11
968501	Mort		91 04 26	MILLS, Hans MILLS, Donna Marie	ROYAL Bank of Canada	217,812.50	A11 Assigned by No. RO 1035057
RO 1035057	Assignment		93 04 14	Royal Bank of Canada	Royal Trust Corp. of Canada		Re: No. 968501
RO 1114221	Notice of Lease		96 05 13	The Consumers' Gas Company Ltd.	MILLS, Hans MILLS, Donna Marie		A11



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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0103 (LT)

PAGE 1 OF 1
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:54:46

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 16, CON 1 SDS TT ; PT LT 18, 19, 22, PL C24 , PART 1, 2 & 5 , 43R18068 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0191

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

859513, ONTARIO INC.

CAPACITY SHARE

BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **						
RO912719	1989/10/04	TRANSFER	\$300,000		859513 ONTARIO INC.	C
43R18068	1990/09/04	PLAN REFERENCE				C
RO970727	1991/05/21	TRANSFER	\$65,000		SAMARA GROUP INVESTMENTS INC. 859513 ONTARIO INC.	C
RO970729	1991/05/21	TRANSFER	\$32,500		SAMARA GROUP INVESTMENTS INC. 859513 ONTARIO INC.	C
43R18787	1991/10/01	PLAN REFERENCE				C
RO1005137	1992/05/06	TRANSFER	\$299,324		859513 ONTARIO INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 16, CON 1 SDS TT , PT LT 22, PL C24 , AS IN RO558488 ; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0181

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

RML 2124 HURONTARIO LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **</p>						
RO558488	1980/09/15	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	MANNA, PASQUALE	
RO956560	1990/11/29	CHARGE		*** COMPLETELY DELETED ***	NATIONAL BANK OF CANADA	
RO1147364	1997/07/15	CHARGE		*** DELETED AGAINST THIS PROPERTY *** MANNA, PASQUALE	THE BANK OF NOVA SCOTIA	
RO1165782	1998/02/27	AGREEMENT		*** DELETED AGAINST THIS PROPERTY *** NATIONAL BANK OF CANADA	THE BANK OF NOVA SCOTIA	
REMARKS: NO. 956560, RO1147364						
LT1896097	1998/12/11	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL BANK OF CANADA		

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
REMARKS: RE: RO956560						
PR471830	2003/07/25	CHARGE		*** COMPLETELY DELETED *** MANNA, PASQUALE	ROYAL BANK OF CANADA	
PR487449	2003/08/21	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA		
REMARKS: RE: RO1147364						
PR1179957	2006/12/04	TRANSFER		*** COMPLETELY DELETED *** MANNA, PASQUALE	AL- QAWASMI, YOUNIS	
PR1179958	2006/12/04	CHARGE		*** COMPLETELY DELETED *** AL- QAWASMI, YOUNIS	PEOPLES TRUST COMPANY	
PR1191751	2006/12/29	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA		
REMARKS: RE: PR471830						
PR1455665	2008/05/02	TRANSFER	\$952,381	AL- QAWASMI, YOUNIS	RML 2124 HURONTARIO LIMITED	C
REMARKS: PLANNING ACT STATEMENT.						
PR1461115	2008/05/15	DISCH OF CHARGE		*** COMPLETELY DELETED *** PEOPLES TRUST COMPANY		
REMARKS: RE: PR1179958						



Ontario

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PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

LAND
REGISTRY
OFFICE #43

13358-0089 (LT)

PAGE 1 OF 2
PREPARED FOR SHAFI ANDSETA
ON 2012/01/05 AT 10:58:05

2130 Hurontario

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 16, CON 1 SDS TT, PT LT 22, PL C24, AS IN R0558486; MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13358-0182

PIN CREATION DATE:

1998/07/20

OWNERS' NAMES

RML 2130 HURONTARIO LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/12/23 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/07/20						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/07/20 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/07/21 **						
R0558486	1980/09/15	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	MANNA, MARIA	
CORRECTIONS: 'TRANSFEREE' CHANGED FROM 'MANNA. MARIA' TO 'MANNA, MARIA' ON 1998/07/17 BY LAND REGISTRAR # 6.						
R0956560	1990/11/29	CHARGE		*** COMPLETELY DELETED ***	NATIONAL BANK OF CANADA	
R01147838	1997/07/21	CHARGE		*** DELETED AGAINST THIS PROPERTY *** MANNA. MARIA	SCOTIA MORTGAGE CORPORATION	
R01165781	1998/02/27	AGREEMENT		*** DELETED AGAINST THIS PROPERTY *** NATIONAL BANK OF CANADA	THE BANK OF NOVA SCOTIA	
REMARKS: RE: NO. 956560, R01147838.						
R01168314	1998/04/09	AGREEMENT		*** DELETED AGAINST THIS PROPERTY ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND
REGISTRY
OFFICE #43

13358-0089 (LT)

PAGE 2 OF 2
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ON 2012/01/05 AT 10:58:05

* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
		REMARKS: AMENDING CHARGE NO. R01147838.		MANNA, MARIA	SCOTIA MORTGAGE CORPORATION	
PR1093176	2006/07/06	CHARGE		*** COMPLETELY DELETED *** MANNA, MARIA	THE TORONTO-DOMINION BANK	
PR1177200	2006/11/30	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL BANK OF CANADA		
		REMARKS: RE: R0956560				
PR1185138	2006/12/14	TRANSFER		*** COMPLETELY DELETED *** MANNA, MARIA	AL-QUDSI, SAHAR.	
PR1185139	2006/12/14	CHARGE		*** COMPLETELY DELETED *** AL-QUDSI, SAHAR	COMPUTERSHARE TRUST COMPANY OF CANADA	
PR1193670	2007/01/03	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE TORONTO-DOMINION BANK		
		REMARKS: RE: PR1093176				
PR1455323	2008/05/02	DISCH OF CHARGE		*** COMPLETELY DELETED *** SCOTIA MORTGAGE CORPORATION		
		REMARKS: RE: R01147838				
PR1455666	2008/05/02	TRANSFER	\$880,000	AL-QUDSI, SAHAR	RML 2130 HURONTARIO LIMITED	C
		REMARKS: PLANNING ACT STATEMENT.				
PR1550601	2008/10/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** COMPUTERSHARE TRUST COMPANY OF CANADA		
		REMARKS: RE: PR1185139				

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
105217vs <i>Re entered to ad R 17.05.89</i>	Discharge	21 april 1969	TREASURER OF Ontario			to discharge No. 54398vs
911440	Mort	89 03 27	MANNA, Pasquale MANNA, Maria	Eabot Trust Company DISCHARGED BY 8011651 ASST. DEP. LAND REG.	500,000.00	Part & O.L. as in 558486 (2) p. 10 of L Comm 396.24' NW of 51y L Part, as in 895070
912719	Grant	89 10 04	SAMARA Group Investments Inc.	859513 Ontario Inc.	\$300,000.00	Part, as in 895070
43R-18068	Reference Plan	90 09 04				Part 1 - Part and O.L. as in 912719 O.L.
956560	Mort	90 11 29	MANNA Pasquale MANNA Maria	NATIONAL Bank of CANADA	135,000.00	part & O.L. as in 358486 (2) Part & O.L. Comm 396.24' NW of 51y L 181.84' SE thence NE 156.22' x SE 101.97' SW 123.14' x NW 111.66' to p of c
976720	Mort	91 05 21	Samara Group Investments Inc. as to an undivided 50% interest 859513 Ontario Inc. as to an undivided 50% interest	Central Guaranty Trust Company 475,949.66 Discharged by H.R. 21009165 Asst. Dep. Land Reg. 21.06.15	475,949.66	Part & O.L. designated as parts 1, 2, & 5 on Plan 43R-18068
974549	Mort	91 06 26	HAJEKEROU Sophie	The Toronto-Dominion Bank	60,000.00	<i>Part</i> <i>42,000.00</i> <i>624341</i>
R01005137	Grant	92 05 06	SAMARA Group Investment Inc.	859513 Ontario Inc.	299,324.65	Pt & O.L. designated as pts 1, 2 & 5 on 43R-18068
R01005138	Mort	92 05 06	859513 Ontario Inc. Recharged by 401024110 Asst. Dep. Land Reg. 10/03/04	SAMARA Group Investments Inc.	35,000.00	Pt & O.L. designated as pts 1, 2 & 5 on 43R-18068
RD 1019537	Mort	92 10 05	HAJEKEROU, Sophie	ROYAL BANK OF CANADA	70,000.00	Part & O.L. as in 624341

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
769365	Hand made of Reals	11-09-86	GREENING, Herald B MCAULEY, Nancy J CLARK, Adam H	MANA Real Estate Corp 1/3 to be		no part 769364 but 1/3 to be 577556
801364	mat	29-05-87	MANNA Pasquale MANNA Maria	CABOT Trust Co	11,000.00	<p>⊙ Phical comm 81.84 SE of wly h Thence NE 170.76 x SW 50.00 x SW 50.00 + NW 50.00 x SW 50.00</p> <p>⊙ Phical comm 81.84 SE of lot Thence NE 158.22 x SE 101.97 x SW 132.14 x NW 11.66 x SW</p>
847444	Mort	31-05-88	MANNA, Pasquale MANNA, Maria	CABOT Trust Company	297,000.00	<p>(1) Part & O.L. as in 568486 Comm 396.24' NW of S.L. Thence NE 170.76' x SE 50.00' x SW 50.00' x NW 50.00' to p of c</p> <p>(2) Part & O.L. as in 568480 Comm 396.24' NW of S.L. Thence NE 158.22' x SE 101.97' x SW 132.14' x NW 11.66' to p of c</p>
895070	Grant	89-05-24	GREENING, Herald Benjamin MCAULEY, Nancy Jean CLARK, Adam Hugh each to an undivided 1/3 interest	SAMARA GROUP INVESTMENTS INC.	\$555,000.00	<p>part & O.L. as in no. 763467 Comm at Ely angle of lot 22 Thence NE 34.9' x NW 100.38' x S1y 132.14' x SE 100' x NE 74.75' to p of c</p>
895071	Mort	89-05-24	SAMARA GROUP INVESTMENTS INC.	CENTRAL GUARANTY TRUST COMPANY	\$120,000.00	<p>part & O.L. as in no. 763467 (895070) at Ely angle of lot 22 Thence NE 34.9' x NW 100.38' x S1y 132.14' x SE 100' x NE 74.75' to p of c</p>
54398vs	Notice of Lien under the MAS Tax Credit Act	13 Oct 1967	Treas. Twp of Toronto (By-law no. 6680)	GRAHAM John GRAHAM Winifred		Part & O.L. as in 57158

Discharged by #877407 Asst. Dep. Land Reg. 09/01/89

Discharged by: 918369 Asst. Land Reg. 89-11-20

Noted Aug 8/91 Discharged by #975594 Asst. Dep. Land Reg. 7/3/91

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
624342	Map	15 11 82		Hagerkrou Sophie	Tipping Frederick J	65,000.00	ph: on See lot 16 con 1500 for desc.
				DISCHARGED BY * 55185 ACT. REP. LAND REG. 31 Oct 83	Tipping Isabel Int acct		
640602	Map	02 05 83		FELLIOTT Management	BUTLER Edwitt	42,000.00	Lot 404. Common to all in W. 100' of Hummatus St. thence W 103' 2" to pt thence N 85° 50' x NW 100' x S 100' x SE 100' x N 85° 44' 8" to pt.
	763465			INC FELLIOTT, William J. FELLMAN, Richard W. GELMAN, Stanley W.	San Antonio Ltd.		
640603	Map	02 05 83		FELLIOTT Management	FELLMAN, Stanley W.	45,000.00	Lot 404. Common to all pt in W. 100' of Hummatus St. thence W 103' 2" to pt NW 100' x S 100' x N 85° 44' 8" to pt.
	763466			INC FELLIOTT, William J. FELLMAN, Richard W. GELMAN, Stanley W. of 3rd floor			
653171	Map	15 05 83		HAGERKROU, Sophie	TIPPING, Frederick J	56,000.00	Lot 404. See lot 16 con 1500 for desc.
				83049K 26	TIPPING, Isabel Int acct		
	Deposit			See Deposit no. 763464			W. 577556.
763467 7636	Grant	05 08 86		FELLIOTT, Management	GREENING, Harold B. MCAULEY, Nancy J. CLARK, Adam # back as to 3 int.		Pt. 40 L at apt. in the W. 100' of Hummatus St. thence W 103' 2" to NE 50' x NW 100' x S 100' x SE 100' x N 85° 44' 8" to pt.
76865	Map	05 08 86		Hagerkrou Sophie	Tipping Isabel	40,000.00	PK 01 as in 653171
	Filed June 18/91 KM			DISCHARGED BY * 948150 ACT. REP. LAND REG. 31 Aug 91			
769364	Map	17 09 86		GREENING, Harold B.	NOVA Data Service	153,950.00	Lot 404. as in 577556
	91819			MCAULEY, Nancy J. CLARK, Adam #			

FORM A-1

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC	LAND AND REMARKS
548295 Jk. 1014	Mortgage	5 Mar 1980	6 Mar 1980	J. Kessick Construction Company Limited	Key-Loch Management Ltd	7,300.01	Part 101, see 501 DISCHARGED BY NO. 546446 MO 489015
546446 Jk. 1014	Disch of M. Lien	23 Apr 1980	25 Apr 1980	J. Kessick Construction Company Limited	Key-Loch Management Ltd, Robert L. Lawrie	7,300.01	In full discharge of no 548295
558486	Grant	5 Aug 1980	15 Sept 1980	Rena A. Dowling & Harold Dowling	Maria Manna	42.00	Part 102 see lot 16 Cmt 505 for desc
558487	MORTGAGE	12 Sept 1980	15 Sept 1980	Maria Manna & Pasquale Manna third part	Rena A. Dowling & Harold Dowling in joint account	45,000.00 92790	Part 102 see lot 16 Cmt 505 for desc 2c 16.10.81
558488	Grant	27 Aug 1980	15 Sept 1980	Devere J. Noble & Rena A. Dowling executors of Alfred J. Tipping estate	Pasquale Manna	42.00	Part 103 see lot 16 Cmt 505 for desc
558489	MORTGAGE	10 Sept 1980	15 Sept 1980	Pasquale Manna & Maria Manna third part	Devere J. Noble & Rena A. Dowling executors of Alfred J. Tipping estate	45,000.00 592789	Part 103 see lot 16 Cmt 505 for desc JC 16.10.81
563677	ASSIGNMENT OF MORTGAGE	28 Oct 1980	10 Nov 1980	Rena A. Dowling & Harold Dowling	Baronette Madell	42.00 592790	Assigning 558487 JC 16.10.81
577554 Jk. 1014	A.M.		01 05 81	Bank of Montreal	LAURIE, Robert L.	43.00	Assigning 481410 DISCHARGED BY NO. 577555
577555 Jk. 1014	A.M.		07 05 81	LAURIE, Robert L.	Key-Loch Management Ltd	43.00	Discharging 481410
577556	Grant		07 05 81	Key-Loch Management Ltd	Key-Loch Management Ltd	42.00	Part 102 see lot 16 Cmt 13.05 for desc
577557	MORT		07 05 81	Key-Loch Management Ltd	LAURIE, Robert L. & Maria S. Fournier, Robert A.	43.00	Part 103 see lot 16 Cmt 505 for desc
591507	Mat		23 09 81	Key-Loch Management Ltd	Key-Loch Management Ltd	110,000.00	(2) Part 101 see 558486
591507	Mat		23 09 81	Key-Loch Management Ltd	Key-Loch Management Ltd	110,000.00	(1) Part 101 see 558486
624341	Grant		15 11 82	Tipping, Frederick & Tipping, Isobel 2nd part	Key-Loch Management Ltd	2 pages	Part 104 see lot 16 Cmt 13.05 for desc

DISCHARGED BY NO. 645536
ASST. DEP. LAND REG.
24.06.83

TC

1. PART 100
 1. PART 100
 NO. 100

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
26484	Grant	27 July 1925	10 Aug. 1925	Wm. Rein Wadsworth	Mildred A. Wadsworth	1,000 N.L.	&A. All & O.L.
26486	Grant	25 Nov. 1924	10 Aug. 1925	Mildred A. Wadsworth	Alfred J. Tipping, et ux	5,000 C.	All
40563	RECEIVED	10 Oct. 1940	22 Jan. 1941	Alfred J. Tipping, et ux	Charters T. Sharpe	1000.00	All 5/1/42
308	By-Law	2 Feb. 1924	22 July 1941	Re: Closing part road opened by By-Law No. 450.			
46140	D.M.	24 Mar. 1945	21 Sept. 1945	Charters T. Sharpe	Alfred J. Tipping, et ux		discharg'g No. 40563. 5/1/42
46478	Grant	20 Sept. 1945	13 Nov. 1945	Alfred J. Tipping, et ux	Fred J. Tipping	1,000 N.L.	&A. Part & O. L. See Lot 16, Con. 1, S.D.S. for description.
48220	Grant	25 June 1946	13 Aug. 1946	Alfred J. Tipping, et ux	Ernest Wm. Humphrey & Mary E. Humphrey, as joint tenants	1000.00	Part & O. L. See Lot 16, Con. 1, S.D.S. for description.
48699	RECEIVED	-----1946	17 Oct. 1946	Ernest W. Humphrey & Mary E. Humphrey	The Huron & Erie Mortgage Corp.	2000.00	Part & O. L. as in No. 48220. 7/1/52
51309	Grant	31 Oct. 1947	14 Nov. 1947	Ernest W. Humphrey & Mary E. Humphrey	Charles D. Downs & Mary G. Downs, as joint tenants	4900.00	Part & O. L. as in No. 48220.
51310	RECEIVED	Nov. 1947	14 Nov. 1947	Charles D. Downs & Mary G. Downs, et al	Philip C. Soules	5350.00	Part & O. L. as in No. 48220. Copied in Full Page --4, Book 191.
51444	D.M.	20 Nov. 1947	2 Nov. 1947	Huron & Erie Mortgage Corporation	Ernest W. Humphrey, et al		discharg'g No. 48699. 7/1/52
56543	RECEIVED	6 Sept. 1947	12 Sept. 1947	Frederick J. Tipping, et ux	Crawford K. Irwin	3500.00	Part & O. L. (See Lot 16, 1 S. for desc.)
56913	RECEIVED	4 July 1947	20 Oct. 1947	Philip C. Soules	Albert M. Greenaway	1,000 C.	Assigning No. 51310. Copied in Full Page --6 Book 191.
57158	Grant	Nov. 1949	17 Nov. 1949	Albert M. Greenaway	Winnifred J. Graham & John S. Graham, as joint tenants	5500.00	Part & O. L. as in No. 48220.
57159	RECEIVED	1 Nov. 1949	17 Nov. 1949	Winnifred J. Graham & John S. Graham	Albert M. Greenaway	4000.00	Part & O. L. as in No. 48220.
58340	Mort. of a	15 Apr. 1950	18 Apr. 1950	Albert M. Greenaway	Laura McKenzie	3200.00	Re: Mortgage No. 57159.
366	BY-LAW	12 OCT. 49	3 JULY 50	RE SUBDIV. CONTROL			
60977	Grant	9 Nov. 1950	24 Nov. 1950	Alfred J. Tipping & Myrtle V. Tipping	Bena A. Dowling & Harold Dowling, as joint tenants	1,000 N.L.	&A. Part & O. L. See Lot 16, 1 S.D. for desc.
69179	RECEIVED	23 Apr. 1952	11 Aug. 1952	Albert M. Greenaway & Laura McKenzie	Victoria & Gray Trust Company	2,000 C.	Assigning No. 57159.
426	BY-LAW	1 JUNE 34	9 JUNE 54	RE SUBDIV. CONTROL			
84566	D.M.	25 Oct. 1954	1 Nov. 1954	Alfred J. Tipping	Alfred J. Tipping		
84567	RECEIVED	1 Nov. 1954	1 Nov. 1954	Alfred J. Tipping	Alfred J. Tipping		

PAGE

LOT

16

CONCESSION

1505

No. of Instrument	Instrument	In Date	Date of Registration	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
1057	Release	24Oct1872	26Oct1872	John C. Price et al	Jacob Cook			2 ac. part of land in No. 424
1141	Lease	10May1869	20Feb1873	Jacob Cook	Miles W. Cook			Part and O.L.
1159	B.S.	7 Oct1872	14Mar1873	Jacob Cook et ux	Corp. of Toronto	5.00		2 acres
1189	Will	25Jun1868	25Apr1873	Jacob Cook	Miles W. Cook			100 ac. and O.L. Among other bequests.
1533	Chancery Decree	10Jun1874	19Nov1874	Sarah Cook	Ann Teeter et al			Parts and O.L.
2180	B.S.	29Dec1876	17Apr1877	Wm. Wright et al	Mark Coombes	900.00		2r. 18p. 462L.
2804	Q.C.	27Jun1879	18Jul1879	May C. Langdon et al	M. W. Cook	2000.00		100 ac. and O.L.
3972	B.S.	23Oct1873	7 Sep1883	William W. Colwell et ux	C. R. Colwell	300.00		37½ per.
6643	B.S.	24Nov1885	3 Dec1886	Elizabeth Brooks et al	George W. Moore	1.00		232 ac. and O.L. 25-1-71
6730	D.M.	10Jan1889	26Jan1889	Geo. Brooks Winters	Wm. W. Cook			Discharging No. 424 25-1-71
8993	B.S.	7 Nov1893	10Dec1893	Toronto General Trusts Co.	Ada Ann Moore	400.00		2 acres.
10096	Caution	29Dec1899	30Dec1899	Toronto General Trusts Corp.	M. W. Cook Estate			90 acres and O.L.
				Admr. M. W. Cook Estate				
10172	B.S.	29Mar1900	2 Apr1900	Toronto General Trusts Corp.	Adolphus Gunnerson	5400.00		Parts and O.L.
10381	B.S.	21Jan1901	22Jan1901	Adolphus Gunnerson (unmarried)	Chas. A. G. Anderson	700.00		7 acres
10614	B.S.	28Sep1901	16Oct1901	Adolphus Gunnerson (unmarried)	John Edward Bell	1532.00		10 acres.

No. of Instrument	Instrument	In Date	Date of Registration	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
10837	L.P.	26Jun1902	27Jun1902	Toronto General Trust Corporation Admr. of estate of late Miles W. Cook Anna C. Teeter Hannah G. Davis Mary C. Langdon, Henrietta A. Sheppard. (Plffs)	Adolphus Gunnerson (defts)	2.7/100		pt lot 16
11060	Lease	14Jun1902	14Apr1903	Adolphus Gunnerson	Cooks Agrl. Society	5		pt lot 16
11082	Grant	1 Apr1903	14Apr1903	Adolphus Gunnerson unmarried man	John E. Bell Jr.	pt	1542.00	pt broken lot 16
11098	Grant	1Apr1903	21Apr1903	Gabriel Ellingham et ux	Wm. H. Rutledge	pt 483/1000		pt lot 16
11101	Grant	1Apr1903	24Apr1903	Adolphus Gunnerson unmarried man	Thomas E. Bull	pt 16½	3250.00	pt lot 16 and subject to a lease of a portion thereof to the Cookville Agrl. Society.
11108	Grant	1Apr1903	24Apr1903	Adolphus Gunnerson unmarried man	Gabriel Ellingham	pt 8.39	1183.13	pt lot 16

CONTINUED ON NEXT PAGE

LOT 16

CONCESSION 1505

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
11171	Grant	9Dec1903	9Dec1903	Adolphus Gummerson unmarried man	Charles A.G. Anderson		1035.00	pt lot 16
11329	Cert of Indgt	10Dec1903	15Dec1903	Toronto General Trust Corporation Administrators of the Estate of the late M.J. & W. Cook, Anna C. Teeter, Hannah C. Davis, Mary C. Langdon, Henrietta A. Sheppard (plaintiffs)	Adolphus Gummerson Defendant	2.7/100		pt lot 16 action dismissed without costs.
11431	Grant	30Jan1904	24Mar1904	Charles A.G. Anderson Unmarried man	Adolphus Gummerson		1035.00	pt lot 16 save a mortgage to said party of second part for \$ 1010.00
11676	Grant	1 Oct1904	7Oct1904	Wm. H. Rutledge et ux	Charles H. Patchett	pt 463/1000	1150.00	pt
12194	Grant	17May1905	22Feb1906	Adolphus Gummerson unmarried man	The Municipal Corporation of the Township of Toronto	1.1/6	450.00	pt
12250	Grant	25Aug1904	4Apr1906	Thomas E. Bull et ux	Adolphus Gummerson	22	435.00	pt
12251	Grant	1 Mar1905	5Apr1906	Adolphus Gummerson	Wm. E. Brunskill	9	1175.00	pt lying and situate south of the new road, recently purchased by the Municipal Council of the Township of Toronto, and north of the property owned by one Charles Gummerson who purchased the same from Charles Anderson Esq.
12346	Grant	25Jun1906	29Jun1906	Wm. George Cox. Frances Maria Cox Stewart, execs of Wm. Cox deceased.	Frances A.C. Stewart	37poles & 325 links	1.	pt lot 16 known on a map of village of Cooksville as lot B, first Range.
12353	Grant	30Jan1906	6Jul1906	Frances A.C. Stewart wife of Wm. Smith Stewart and the said Wm. S. Stewart	Agnes Hopkins widow	37poles & 325 links	1000.00	pt lot 16 known as lot B Cooksville.
12604	Grant	22Mar1907	26Mar1907	Charles A.G. Anderson unmarried man	Edway Walterhouse	pt 4 1/2		composed of a portion of the southerly field of part of lot 16
12605	M.	23Mar1907	26Mar1907	Edway Walterhouse et ux	Charles A.G. Anderson	pt 4 1/2	200.00	same lands as in 12604 not registered in full
12694	Grant	23Mar1907	23May1907	Adolphus Gummerson unmarried	Charles A.G. Anderson	pt 7	1.	pt lot 16 and known as the southerly field as described in a conveyance by the Toronto General Trust Corporation to rectify error in description thereof.
12804	Grant	25Oct1907	29Oct1907	Charles A.G. Anderson	Phillip Hardy	pt 3 1/2		

NO. OF INSTRUMENT	INSTRUMENT	1st DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
12804	Grant	25Oct1907	29Oct1907	Charles A.C. Anderson unmarried, Charles Gunnerson	Philip Pardy	pt 2 ¹ / ₂		pt described by metes and bounds, said party of the third part grants releases and quits claims to the said party of the second part, all his right title and interest into and out of the said lands by reason of an agreement for purchase of same or otherwise, howsoever from the party of the first part and hereby declares that he has no further claims against the same of any nature whatsoever.
12805	Grant	26Oct1907	29Oct1907	Wm. E. Brunskill unmarried	Philip Pardy	pt 1 ¹ / ₂	700.00	pt described by metes and bounds.
13648	Grant	9 Oct1909	13Oct1909	Adolphus Gunnerson	John E. Bell	pt 6.123/320	1275.87	
13703	Grant	17Nov1909	17Nov1909	Adolphus Gunnerson	Lewis M. Keane	pt 16.30/100	2075.00	pt
13704	Grant	17Nov1909	17Nov1909	Lewis M. Keane	Wm. McKee	pt 4.24/100	1000.00	pt
14351	Grant	24Feb1911	17Mar1911	Adolphus Gunnerson unmarried	Charles E. Harris	pt 9.94/100	2200.00	pt
14419	Grant of Easement	18Mar1911	6Apr1911	Charles E. Harris	Hydro Electric Power Co	pt	825.00	pt to erect poles etc
14701	Grant	28Nov1911	1Dec1911	Philip Pardy et ux	Philip H. Pardy	pts 1 ¹ / ₂ & 3 ¹ / ₂	400.00	pts
14958	M.	1 Mar 1912	24Apr1912	Wm. T. McKee et ux	George Maclelland	pt 4.24/100	1000.00	pt NOV 19 1935
15129	M.	25Aug1912	30Aug1912	Lewis J. Keane	Edway Watterhouse	pt	2000.00	pt 7/1/57
15130	Grant	28Apr1911	4Sep1912	Charles H. Patchett et ux	James Stephens	483/1000	1300.00	pt
15131	Grant	24Aug1912	4Sep1912	James Stephens et ux	Edward J. Hook	483/1000	2000.00	pt
15132	M.	24Aug1912	4Sep1912	Edward J. Hook	James Stephens	483/1000	1500.00	pt 936
15156	Grant	1Apr1909	18Sep1912	Thomas E. Bull	Paulina Bull	16 ¹ / ₂	1.	pt
15537	Grant	18Mar1913	20Mar1913	Gabriel G. Ellingham et ux	Edward J. Hook	2.94/100	882.00	pt
G'13	Plan	31Mar1913	11Mar1913	Edward J. Hook et ux	20 lots	pt		
16188	M.	1Apr1913	24Dec1913	Robert Joyce et ux	John D. Montgomery	pt	300.00	known as lot 11 Savignys
16918	Agreet	12Apr1905	25Feb1915	John E. Bell	John E. Bell et ux	pt 20		pt
17583	Q.C.	7Apr1916	7Apr1916	John E. Bell Sr.	John E. Bell Jr.	pts	1. etc	pts
18147	Grant	20Jun1917	22Jun1917	Wm. E. Brunskill et ux	Hydro Electric Power Co	pts	3800.00	p s & O.L. Plans attached
18603	M.	22Jun1918	27Jun1918	Gabriel Ellingham et ux	Benjamin Flagg	pts	880.00	pts 598
18826	Grant	14Feb1919	17Feb1919	John D. Montgomery	Robert Joyce	pt	1.	pt lot 11 Cookeville
18826	M.	Feb1919	17Feb1919	Robert Joyce et ux	John D. Montgomery	pt	200.00	pt lot 11 Cookeville. made

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CONCESSION 150S

No. of Instrument	Instrument	Iss Date	Date of Registration	GRANTOR	GRANTEE	Quantity of Land	Consideration or Amount of Mortgage	REMARKS
19794	D.M.	14Apr1920	14Apr1920	John D. Montgomery	Robert Jayes			Dischg. 18825
20339	Grant	---1920	14Oct1920	Pauline Bull	Union Bank		3000.00	pt
20403	M.	1 Nov1920	4Nov1920	Clarence V. Hepton et al	Eleanor Colwell et al		1300.00	pt NOV 1933
20404	Grant	1 Nov1920	4Nov1920	Eleanor Colwell et al	Clarence V. Hepton		1800.00	pt
20405	M.	1Nov1920	4Nov1920	Fred. Varley et al	Eleanor Colwell et al		850.00	pt NOV 1933
20406	Grant	1Nov1920	4Nov1920	Eleanor Colwell et al	Fred. Varley		1250.00	pt
20832	M.	26Mar1921	12Apr1921	Charles E. Harris et al	Alex. Thomas		1000.00	pt OCT
21355	M.	1 Nov1921	1Nov1921	Joseph Page et al	John F. Bell	6.123/220	3000.00	pt SEP 15 1936
21356	Grant	1Nov1921	1Nov1921	John F. Bell et al	Joseph Page	" "	5000.00	pt
21518	Grant	2Jan1922	5Jan1922	Philip H. Pardy et al	Gordon B. Jackson	2 1/4	1000.00	etc. pt
21519	M.	2Jan1922	5Jan1922	Gordon B. Jackson et al	Philip H. Pardy	2 1/4	5000.00	pt NOV 20 1933
21534	D.M.	10Jan1922	11Jan1922	Alex. Thomas	Charles E. Harris			Dischg. 20852
21616	M.	1Feb1922	7Feb1922	Gordon B. Jackson et al	Alex. M. T. Burgess	" "	1123.08	pts
21699	Grant	13Dec1921	22Mar1922	Charles E. Harris et al	George Milburn	8.79	13000.00	pt
21700	M.	20Mar1922	22Mar1922	George Milburn et al	Charles E. Harris	8.79	1000.00	pt NOV 20 1933
21704	Grant	22Mar1922	22Mar1922	Gabriel Ellingham et al	Franklin E. Hopkins	8	5500.00	pt except pt in 11098 & 15537
21705	D.M.	21Mar1922	22Mar1922	Robert Elgie	Gabriel Ellingham			Dischg. 18802
21721	Q.C.	9Jan1921	27Mar1922	John J. Hopkins et al	Robert Hopkins		1.	pt known as lot "B"
22400	Grant	1 Apr1922	27Sep1922	Ada A. Moore	Alfred J. Tipping et al	1.	850.00	pt
22401	M.	1Apr1922	27Sep1922	Alfred J. Tipping et al	Ada A. Moore	1.	650.00	pt 4/1/58
22402	Grant	1Apr1922	27Sep1922	Ada A. Moore	Harley V. Moore et al	1/2	400.00	pt
22404	D.M.	20Sep1922	19Oct1922	Alex. M. T. Burgess	Gordon B. Jackson			Dischg. 21616
22405	M.	20Sep1922	19Oct1922	Gordon B. Jackson et al	Alex. M. T. Burgess	2 1/4	1007.85	pt 24K 2 1/4
22854	D.M.	12Jan1923	15Jan1923	Charles E. Harris	George Milburn			Dischg. 21700
22855	M.	12Jan1923	25Jan1923	George Milburn et al	John W. Woodill	pt	2000.00	pt 4/1/58
22856	pt D.M.	29Mar1923	2Apr1923	John W. Woodill	George Milburn	79/100	1.	Dischg. pt lands in 22855
23014	Grant	29Mar1923	3Apr1923	George Milburn et al	G.W. Lever	79/100	1150.00	pt
23016	M.	29Mar1923	3Apr1923	George W. Lever et al	B.A. Orr	79/100	2000.00	pt & O.T. 4/1/58
23024	M.	1Mar1923	3Apr1923	John F. Bell et al	John M. Barnhill	20.28/100	5000.00	pt SEP 7 1939
23778	D.M.	Sep1923	25Sep1923	Philip H. Pardy	Gordon B. Jackson			Dischg. 21519 NOV
23779	M.	25Sep1923	26Sep1923	Gordon B. Jackson et al	George McClelland	2 1/4	5000.00	pts DEC 31 1942
23839	Mortgage	28Sep1923	12Oct1923	Alexander M. Burgess	George McClelland	1 ac.	1.	pts 4/1/58
23851	P. of Art	28Sep1923	12Oct1923	Alexander M. Burgess	George McClelland			pts J.I.

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
23972	M.	18Nov1923	18Nov1923	Clarence V. Hepton et ux	Frank J. Thompson	pt	300.00	7/1/15
23973	D.M.	16Oct1923	18Nov1923	Gleason Colwell et ux	Clarence V. Hepton	pt		Dischg. 23403 NOV - 1931
24003	D.M.	16Oct1923	18Nov1923	Gleason Colwell et ux	Fred Varley	pt		Dischg. 20405 NOV - 1931
24004	M.	18Nov1923	18Nov1923	Fred. Varley et ux	Charles Gunnerson	pt	350.00	DEC 22 1934
X'23	Plan	30Oct1923	14Oct1923	F.E. Hopkins	Subdivision	pt		SEP 1 1935
24280	D.M.	Jan1924	23Jan1924	Nancy M. Burnhill	John E. Bell			Dischg. 23024
24291	Grant	1Jan1924	23Jan1924	John E. Bell et ux	John T. Walker	20.25/1000	1. etc	pt
24292	M.	18Oct1923	23Jan1924	John T. Walker et ux	John E. Bell	20.25/1000	20000.00	pt 3/1/45
25426	D.M.	16Nov1924	16Nov1924	Charles Gunnerson	Fred. Varley			Dischg. 24004 22 1935
25907	M.	16Mar1925	26Mar1925	John E. Bell et ux	Carlin Pearson	300/1000	2000.00	pt MAY 31 1937
26417	D.M.	14May1925	17Jan1925	George McClelland	Wm. T. McKee	pt		Dischg. 14550 NOV 19 1936
26426	M.	15Jan1925	21Oct1925	Charles F. Harris et ux	Wm. Shaver	pt	1000.00	pt
26467	Grant	25Nov1924	10Aug1925	Alfred J. Ripping et ux	Mildred A. Wadsworth	pt	5.00 etc	pt
26555	M.	11Aug1924	10Aug1925	George Kennedy	Pauline Bull	pt	77.00 26.00	JUN 20 1940
26563	M.	28Aug1925	33Sep1925	Robert Joyce et ux	John W. Woodhill	pt	1250.00	pt lot 11 Cookeville
26605	M.	11Sep1925	16Sep1925	Harley V. Moore et ux	Bartholomew J. Bull	pt	1500.00	pt copied in full on page 563 book 172 Toronto Exp.
26770	Grant	10Oct1925	10Oct1925	George Kennedy (Deed)	Pauline Bull Deeds	pt		JUN 2 1940
26949	Grant	31Aug1925	25Nov1925	Union Bank of Canada	Royal Bank of Canada	pt	1.	
27154	M.	2Jan1926	3Jan1926	Robert Joyce et ux	John W. Woodhill	pt	475.00	pt
27580	D.M.	10Jul1914	26Apr1926	John P. Stephens et ux Exrs of James Stephens Deceased.	John Wolfe	pt		Dischg. 15132 JUN 1 1936
27605	M.	1 Jan1926	27Jan1926	Corrie E. Jackson et ux	Isabelle L.V. DeLettenehove	pt	2500.00	pt AUG 31 1938
27606	pt D.M.	May1925	17Jan1926	Ator. M. Burgess	Gordon B. Jackson	pt		pt in 23495
27607	pt D.M.	20May1926	17Jan1926	George McClelland	Gordon B. Jackson	pt		pt 25779
27917	D.M.	2Aug1926	4Aug1926	John E. Bell	Joseph Page	pt		Dischg. 21365 SEP 15 1936
28634	D.M.	16Mar1927	16Mar1927	Carlin Pearson	John E. Bell	pt		Dischg. 25907 MAY 31 1937
28635	M.	15Mar1927	16Mar1927	John E. Bell et ux	Frank J. Thomson	308/1000	2500.00	pt
28933	Grant	31Oct1912	18May1927	Adolphus Gunnerson	Robert J. McKee	10 1/2	1550.00	pt

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CONCESSION 1503

No. of Instrument	Instrument	1st Date	2nd Date	GRANTOR	GRANTEE	Quantity Lands	Consideration or Amount of Mortgage	REMARKS
28934	M.	7May1927	18May1927	George W. Laver et ux	Robert J. McKee	1.9	1000.00	# 24/1158
28935	Grant	7May1927	18May1927	Robert J. McKee unmarried	George W. Laver	1.9	1130.00	pt
28998	Mort	2Jan1927	29Jan1927	Isabelle A.K. Lettenhove	Thomas W. Duck	pt	1025.00	pt AUG 21 1936
29125	Mort	10Jul1927	20Jul1927	John E. Bell	John T. Moore	20.25/1000	1050.00	pt
29675	Grant	1Nov1927	30Dec1927	Royal Bank of Canada	Canadian Realty Corporation Ltd.	pt	1.ets	pt 17 Village lot.
29677	Grant	30Dec1927	30Dec1927	Royal Bank of Canada	The King	pt	1.ets	pt 17 Village lot
29687	Deed.	10Dec1927	13Dec1927	George Kennedy	Pauline Bull	pt	1.1	Disch. 26720 JUN 2 1937
				See Deposit 305.				
29966	Trust Deed & Mortgage	18Jan1928	28Feb1928	Canadian Realty Corporation Ltd.	Northern Trusts Co.	pt		pt Village lot 17 & C.I.
30079	M.	20Jul1928	27Jul1928	John E. Bell et ux	Frank J. Thomson	pt 1800/1000	592.00	pt JUN 1 1937
30440	Grant	15Jun1928	16Jun1928	Pauline Bull	Chin Ying Mann	pt	1950.00	pt
30560	Grant	25Jul1928	16Jul1928	Fred. Varley & Jessie Varley	James Hartsook	pt	2500.00	pt
30601	M.	25Jul1928	16Jul1928	James Hartsook et ux	Fred. Varley	pt	2600.00	pt
30603	Deed	12Aug1928	2Aug1928	Thomas W. Duck	Isabelle A.K. De Lettenhove	pt	1674.67	to Mige (27665)
30608	M.	31Jul1928	2Aug1928	Isabelle A.K. De Lettenhove	Gordon B. Jackson	pt		Disch. 27686.
30609	M.	2 Aug 1928	2 Aug 1928	Gordon B. Jackson et ux	Thomas W. Duck	pt	2500.00	pt SEP 30 1938
30610	Deed	12Aug1928	12Sep1928	George McWilliam	G.B. Jackson	pt		Disch. pt 19257
30765	M.	12Sep1928	17Sep1928	Thomas W. Duck	Gordon B. Jackson	pt		Disch. 28638 OCT 30 1938
30767	Grant	15Sep1928	17Sep1928	Gordon B. Jackson et ux	John English	pt	5000.00	pt
30900	Deed	20Oct1928	20Oct1928	Gordon B. Jackson et ux Exrs. of Alex Mc Burgess	Gordon B. Jackson	pt	1.	pt in 22495
31084	M.	25Feb1929	12Feb1929	John T. Walker et ux	Sterling Trust Corp	20.25/10.0	12000.00	pt 21/145
31264	Grant	29Jan1929	22Feb1929	George W. Laver	George W. Laver & Elsie Laver	79/100 & 1.9/10	1.	pt & C.I. as joint tenants.
31499	Agreest Post Mige	16Feb1929	6Mar1929	John E. Bell	Sterling Trust Corp	20.25/10.0	1.	postponing Mige #24282

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CONCESSION

1.505

NO. OF INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRATION	GRANTOR	GRANTEE	QUANTITY OF LAND	Consideration or Amount of Mortgage	REMARKS
31015	D.M.	May 1929	May 1929	Thomas B. Jackson et al Exrs of Alex. Mot. Burgess	Gordon B. Jackson	pt		Dischg. pt in 22195
31016	D.M.	Feb 1929	Mar 1929	George McGlelland	Gordon B. Jackson	pt		Dischg. 25775 DEC 31 1932
31016	D.M.	Dec 1928	Mar 1929	John T. Moore	John E. Bell	pt	20.25, 1000 ac.	Dischg. 29168 JUN 30 1933
31112	D.M.	Mar 1929	Apr 1929	Frank J. Thomson	John E. Bell	pt 308/1000		Dischg. 30099
32001	A.M.	20 Aug 1929	22 Aug 1929	Wm. Shaver	Suzannah M. Duck	pt	1000.00	Dischg. (26106)
32001	D.M.	Dec 1929	Jan 1930	Thomas B. Jackson et al Exrs of Alex. Mot. Burgess	Gordon B. Jackson	pt		Dischg. pt 22195 APR 1 1933
32588	M.	18 Mar 1930	27 Mar 1930	Harley V. Moore et ux	Empire Brass Mfg. Co. Ltd	pt 1/2	1235.50	pt
32828	Grant	27 May 1930	31 May 1930	Gordon B. Jackson et ux	John English	pt	1200.00	pt
33100	D.M.	29 Sep 1930	30 Oct 1930	Fred Varley	James Hartcock	pt		Dischg. 29501
33510	A.M.	15 Sep 1930	25 Nov 1930	Harold McGlelland et ux of George McGlelland	Norman G. McGlelland	pts	5000.00	assigning (23779) DEC 31
33607	A.M.	31 Mar 1931	Apr 1931	John E. Bell	Steeling Trust Corp	20.25/1000	1. etc	assigning (24289) 31/1/31
33608	D.M.	16 Jul 1931	17 Jul 1931	Suzannah M. Duck	Charles E. Harris	pt		Dischg. 26186 AUG 1 1931
33984	F.C.F.	31 Aug 1931	31 Aug 1931	Bartholomew J. Bull (P)	Harley V. Moore et al (D)	1/2		defendant debarred and foreclosed.
34219	M.	15 Dec 1931	16 Dec 1931	Wm. P. Harris et ux	Bartholomew J. Bull	1/2	1500.00	pt MAY 26 1942
34220	Grant	1 Dec 1931	9 Dec 1931	Bartholomew J. Bull	Wm. R. Harris	1/2	1500.00 mte and \$700.00 Mte pt	
34397	A.M.	1 Jan 1932	1 Feb 1932	Helen M. D. Doshorne et al exrs of Alex. Mot. Burgess	Alison M. Burgess	22.14	200.00	Assign (22495) APR 1 1943

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
34612	D.M.	11 May 1932	17 May 1932	Bartholomew J. Bull	William R. Harris			Discharging No. 34220 MAY 26 1932
34793	D.M.	3 Oct 1931	29 Jul 1932	Norman G. McGlelland	Gordon B. Jackson			Discharging No. 29779
34774	MORTGAGE	20 Jul 1932	28 Jul 1932	Gordon B. Jackson et ux	Thomas Duck		4000.00	Part 24/11/37
34912	Cert.	27 May 1932	5 Oct 1932	John E. Bell Jr.	Treasurer's Consent			Part and O.L. APR 1 1932
35171	D.M.	6 Feb 1932	8 Feb 1932	Alison M. Burgess	Gordon B. Jackson			Discharging No. 34220
35304	Q.C.	13 Sep 1932	28 Apr 1933	Florence E. Bell et al Exrs. John E. Bell Jr.	Frank J. Thomson		1.00	Part 308/1000 acres.
35305	Q.C.	5 Oct 1932	28 Apr 1933	Florence E. Bell	Frank J. Thomson		1.00	Part 308/1000 acres.
35635	MORTGAGE	26 Oct 1933	1 Nov 1933	Herbert E. Bull et ux	William M. Reist	1/2	250.00	Discharged by No. 35657 2/1/51

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CONCESSION 1 SAS

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
35773	MORTGAGE	13Dec1933	10Jan1934	John T. Walker et ux	Sterling Trusts Corp.		15775 00	20 25/1000 acres. Copied in full Page 317 Book 179
35774	D.M.	20Dec1933	10Jan1934	Sterling Trusts Corp.	John T. Walker			Discharging No. 24032
35775	D.M.	20Dec1933	10Jan1934	Sterling Trusts Corp.	John T. Walker			Discharging No. 24031
36030	Grant	21May1934	30May1934	Mildred A. Wadsworth	Ada May		1 00	C. Part.
36031	Pt. D.M.	19May1934	30May1934	Ada A. Moore	Ada May		1 00	Discharging part No. 22401
36032	Grant	28May1934	30May1934	Ada May	Harry Rycroft & Sarah Rycroft		700 00	Part and O.L.
36077	Grant	28Mar1934	21Jun1934	Samuel McCord et al Exrs. Pauline Bull	Mary J. Ward	2 8/10	1 00	Part. Treas. Consent. Attached.
36078	Grant	26Mar1934	21Jun1934	Samuel McCord et al Exrs. Pauline Bull	Edith M. Ward	2 4/10	1 00	Part
36996	MORTGAGE	4 Sep 1934	6 Sep 1935	Mary J. Ward	Francis L. Waltherhouse	2 6/10	300 00	Part 24/4/58
36914	MORTGAGE	19Nov1935	19Nov1935	Harry & Sarah Rycroft	Canada Permanent Mfg. Co.		2500 00	Part as in No. 36032
36951	MORTGAGE	16Oct1935	18Dec1935	Harry & Sarah Rycroft	Sarah Jane Shorter		1000 00	Part as in No. 36032
36957	D.M.	14Dec1935	18Dec1935	William H. Hoist	Harbert E. Bull			Discharging No. 35162
37036	Grant	5 Mar1936	12Mar1936	James K. Morley et al Exrs. Edway Waltherhouse	Rhoda E. C. Hendrikson	4 1/2	1 00	Part and O.L.
37037	Grant	5 Mar1936	12Mar1936	James K. Morley et al Exrs. Edway Waltherhouse	Rhoda E. C. Hendrikson		600 00	Assigning No. 15129
37096	D.M.	22Apr1936	30Apr1936	Francis L. Waltherhouse	Mary Jane Ward			Discharging No. 36296
37097	Grant	21Apr1936	30Apr1936	Mary Jane Ward	George W. Lever	2.8	1000 00	Comm. 1005' 5" Sly. from Dundas St. in Wly. limit of Centre Road; other boundaries irregular
37121	MORTGAGE	18May1936	18May1936	Franklin E. Hopkins	Royal Bank of Canada		1611 00	etc. Part 24/4/58
37751	D.M.	20May1937	8 Jun1937	Robert J. McKee	George W. Lever			Discharging No. 37734
37870	Grant	5 Aug1937	6 Aug1937	Robert Hopkins	Franklin E. Hopkins (in trust)		1 00	C. Part. 37 poles & 325 links COMM. in Sly. side of Dundas St. 8.53 chs. Ely. of NW angle Thence Sly. 2.35 chs. x Wly. 1.00 ch.
37930	Grant	14Jun1937	3 Sep1937	William R. Harris et ux	Mary E. Schram		1 00	C. Part as in No. 34220
37932	MORTGAGE	29Jun1937	3 Sep1937	Mary E. Schram	Wm. R. & Jane Harris		2058 64	Part as in No. 34220
38237	D.M.	16Feb1938	16Feb1938	Thomas Duck	Gordon E. Jackson			COPIED in full Page 145 Book 180 Discharging No. 32774

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CONCESSION 7505

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
39253	D.M.	20Apr1938	13May1938	Rhoda E. C. Hendrikson	Leola M. Keane			Discharging No. 15123 24/1/53
39451	MORTGAGE	6 Jan1938	30Jan1938	Edward Bull et ux	Norman C. McClelland		375.00	Part 4.65 acres, Comm. in Wly. limit of Centre Road 361' 8" S. of North angle having a frontage of 352' 3" South. 16/1/53
39888	M.L.	6 Jan1939	6 Jan1939	Harold Electric Plumbing and Heating, Mary E. Sobram et al			11.50 & \$25.00 for lien	Part as in No. 37930 24/1/53
39019	Grant	10Feb1939	14Mar1939	Samuel McCord et al Extrs. Pauline Bull	Herbert E. Bull	4 2/3	1.00	Treas. Consent endorsed. See sketch attached.
39020	Grant	10Feb1939	14Mar1939	Samuel McCord et al Extrs. Pauline Bull	Theodore E. Bull	4	1.00	Treas. Consent endorsed. Part and O.L. See sketch attached.
39021	MORTGAGE	20Feb1939	14Mar1939	Theodore E. Bull et ux	Alex. Thomas		1000.00	Part 4 acres more or less, and O.L. as in No. 39020 24/1/53
39428	Grant	19Aug1939	11Sep1939	Ada May	Wilfrid A. McDermid		1000.00	Part and O.L. Small triangular parcel lying between Lot 2 C-24 and Hurontario Street. 24/1/53
39478	Notice	26Sep1939	4 Oct1939	Old Age Pensions Comm.	Jas. D. Hartsock			Notice granting pension part as in No. 39020 & O.L.
39509	Grant	25Sep1939	17Oct1939	Edward McKee Extr. of Jennie Mc Kee ; et al	Edward McKee	4.24	1.00	COMM. in Wly. limit of Centre Road 2220' 6" S. N. angle Thence 8.149' 10" Thence W. 1239' 10" Thence N. 150' Thence E. 1309 to place of beginning. Treasurer's Consent endorsed. 4/1/53
39522	MORTGAGE	20 Oct1939	25Oct1939	Theodore E. Bull et ux	Alexander Thomas	4	1400.00	Part & O.L. as in No. 39020
39535	D.M.	25Oct1939	25Oct1939	Alexander Thomas	Theodore E. Bull et ux			Discharging No. 39021 24/1/53
39585	F.O.F.	16Nov1939	20Nov1939	Sterling Trusts Corp. (P)	John T. Walker et al (D)			Defts. debarred & foreclosed. Re: Mort. No. 35773
39630	Pt. D.M.	11May1940	19May1940	Royal Bank of Canada	Franklin E. Hopkins		339.76	Discharging part No. 3121 4/1/53
39958	Cert.	23May1940	30May1940	Re: Walternhouse and Andersen				Discharging Mort. No. 12645
39974	Grant	10May1940	3 Jun1940	Rhoda E. C. Hendrikson	J. Forbes Walker	1.59	1500.00	Part. See sketch attached 24/1/53
40105	MORTGAGE	18Aug1940	15Aug1940	Wilfrid A. McDermid et ux	Canada Life Assurance Co. et al		4000.00	Part & O.L. as in No. 39428 24/1/53
40214		8 Aug1940	22Aug1940	J. Forbes Walker et ux	Canada Life Assurance Co. et al		5500.00	Part as in No. 39974
40251	Grant	1 Aug1940	4 Sep1940	Mary Ryan et ux	Mary Ryan		7026.00	Part & O.L. as in No. 36022 24/1/53
40252	D.M.	30Aug1940	6 Sep1940	Sarah J. Shorter	Harry R. Shorter et ux			Discharging No. 36961 24/1/53
40253	Pt. D.M.	3 Sep1940	6 Sep1940	Charters T. Sharpe	Arnold E. Tapping et ux		2.00	Discharging parts as in numbers 36032 and 39428 from No. 23839 4/1/53
40292	D.M.	26Aug1940	16Sep1940	Royal Bank of Canada	Franklin E. Hopkins			Discharging No. 39131 24/1/53

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CONCESSION 1 SDS

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
40275	D.M.	12Sep1940	16Sep1940	Canada Permanent Mtge Corp.	Barry Brecroft et ux			Discharging No. 36914 4/15/58
40298	Grant	13Sep1940	23Sep1940	Geo. F. Laver et ux	Geraldine Higgins	2.8	1 00	N.L.&A. COMM. 1005'5" of N. angle Thence W. 843'10" x 1.799'9" x S. 132'6" top of b.
SEE DEPOSIT No. 842								
40538	MORTGAGE	10Dec1940	9 Jan1941	Alex McKendrick Jr. et al	Jane & Wm. R. Harris	0.5	1700 00	Part as in No. 40539 4/15/58
40539	Grant	10Dec1940	9 Jan1941	Jane & Wm. R. Harris	Alex McKendrick Jr.	0.5	2400 00	COMM. in Sly. limit of lot 9.40 chs. W. of SE angle Thence S. 0.943 chs. Thence W. 1.515 chs. to Wly. limit of lot Thence N. 1.393 chs. to place of beginning. Sold under mortgage No. 37432 4/15/58
40650	Grant	1 Mar1941	7 Mar1941	Franklin E. Hopkins et ux (Trustee)	Andrey Dragosz		500 00	Ely. 30' of lot 16 Village Plan.
40699	MORTGAGE	25Mar1941	2 Apr1941	Charles Keane	The Sterling Trusts Corp.	5.265	3000 00	Part as in No. 40700 4/15/58
40700	Grant	18Mar1941	2 Apr1941	The Sterling Trusts Corp.	Charles Keane	5.265	1 00	G. Sketch attached. COMM. in Wly. limit at South angle of lot 15 C-13 Thence N. 529'6" to place of beginning. 4/15/58
40883	D.M.	13Jun1941	20Jun1941	Ada A. Moore	Alfred J. Tipping et ux			Discharging No. 28401 4/15/58
40884	Grant	10Jan1940	20Jun1941	Ada A. Moore	Samuel L. Moore	0.56	1 00	N.L.&A. Part South part. COMM. in Sly. or SWly limit 6.486 chs. N. of SE angle Thence N. 1.46 chs. x E. 2.445 chs. x N. 0.391 chs. x W. 1.515 chs. to Centre Road x S. 1.837 chs. x W. 3.275 chs. to place of beginning.
40910	Grant	26Jun1941	3 Jul1941	May Acrl	James E. Montgomery		1 00	N.L.&A. Part and O.L. as in No. 40251
40960	Grant	10Jul1941	22Jul1941	James E. Montgomery et ux	Arthur D. Lawrence and Eva M. Lawrence as joint tenants		7000 00	Part as in No. 40251 & 40311
40961	MORTGAGE	12Jul1941	22Jul1941	Arthur D. Lawrence et ux	Jas. E. Montgomery		6500 00	Part & O.L. as in No. 40960 4/15/58
306	By-Law	2 Feb1924	22Jul1941	Re: Closing part of road opened by By-Law 450	being part of road covered by Plan C-24			4/15/58
41105	D.M.	27Aug1941	9 Sep1941	Norman G. McClelland	Edward Bull			Discharging No. 35481 4/15/58
41279	Grant	24Sep1941	5 Nov1941	Sterling Trusts Corp.	Evelyn L. Seaton and D. Gordon Seaton as joint tenants	4500	00	Part COMM. in Wly. limit of Centre Road 1342'10" S. of Dundas St. Thence S. 232' x W. 150'6" x S. 90'1" x W. 629'6" x N. 319'2" x E. 779'3" to place of beginning
41280	Mtg.	4 Oct1941	5 Nov1941	Evelyn L. Seaton et mar	Sterling Trust Corp.		2250 00	Part as in no. 41279

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LOT 16

CONCESSION 1 SPS

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
44277	MORTGAGE	15 June 1944	23 June 1944	Robert J. Allison et al	Edward J. Henry	0.223	\$100.00	part in No. 44275. V. 1 SP
44278	Grant	15 June 1944	23 June 1944	Frank J. Thomson	Robert J. Allison	0.303	\$4000.00	part. Comm in W. limit of Lake Rd. 1574'10" S 7' N W. 508' 15' 90", E 148' 4" 6 Lake Rd. 15' 90"
44777	D. M.	20 Aug 1944	18 Dec 1944	John W. Woodrill	James Fullerton			discharge No. 22025 htaad
44803	D. M.	11 Oct 1944	21 Oct 1944	Clayton Thomas	Theresa L. Bull			discharge No. 39858 4/2/58
44422	MORTGAGE	6 Nov 1944	23 Nov 1944	Wm. James Page et al	Wm. James Page	6.1230	\$125.00	part in No. 44988 29. 41 86 60. 16
44923	Grant	6 Nov 1944	23 Nov 1944	Ellen Page	Wm. James Page	6.1230	\$125.00	part. acc. No. 41883.
45001	D. M.	3 Dec 1944	10 Dec 1944	Frank H. Benstead et al	Leo W. Farrow			discharge No. 22016
				Edward C. Orr				See in Attached 11/4/58
45656	Lease	1 Apr 1945	7 June 1945	Edith M. Ward	John H. Higgins	2.400	\$50.00	3 yrs.
								Comm in W. limit of Lake Rd. 872' 11" S. Dundas St. Thru S 23° 55' 10" W. 799' 9" X 130' 24" W. 137' 6" X N 36° 41' E 275' 8" X N 55° 28' E 520' 6" Lake Rd. 132' 16" p. p. 7b. 4/2/58
46227	D. M.	20 Sep 1945	25 Sep 1945	The Shiloh Land Co.	Charles Hume			discharge No. 46149 4/2/58
46478	Grant	20 Sep 1945	13 Nov 1945	Edmund J. Higgins et al	Frank J. Higgins		\$125.00	part 10.1.
								Comm in S.W. limit of Lake Rd. 5' 10" S. E. Thru N 43° 07' E 216' 6" E Lake Rd. 5' 36' 10" E along Lake Rd. 55' 45' 43' 07" W. 6 pt. in S. limit 22' E 24' W. 55' 43' 07" p. p. 7b.
46517	D. M.	17 Nov 1945	20 Nov 1945	Wm. J. Jackson	Beatrice Higgins			discharge No. 41862 4/2/58
46555	MORTGAGE	17 Oct 1945	20 Nov 1945	John H. Harrison et al	Edmund Harrison	1.00	\$675.00	part in No. 46556 4/2/58
46556	Grant	22 Oct 1945	30 Nov 1945	Edmund Harrison et al	John H. Harrison	1.00	\$1428.00	part.
								Comm in W. limit of Lake Rd. 2220' 8" S. Dundas St. Thru S 105' 1" W. 414' 10" X N 72° 32' W. 103' X N 48° 4' 10" E p. p. 7b.
46557	D. M.	21 Oct 1945	30 Nov 1945	James B. Gooderson et al	Edmund Harrison	1.00	\$7.00	discharge 4/2/58
				John Langford et al				part in No. 44223 4/2/58
46903	Grant	18 Dec 1945	9 Feb 1946	May Mackay et al et al	Lawrence Brunswick	8.	\$7.00	part 10.1.
				Josephine Brunswick et al				See in Attached 4/2/58
								Comm in W. limit of Lake Rd. at S.E. limit of 46556 X W. 163' 11" E. W. limit of Lake Rd. to S.E. limit of Upper triangular X E to p. 7b.
46906	D. M.	18 Dec 1945	9 Feb 1946	Lawrence Brunswick	John Brunswick, Lawrence Brunswick		\$149.00	part 10.1. acc. in 46903

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CONCESSION

1 SDS

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
47156	Grant	9 Mar. 1946	29 Mar. 1946	Edith M. Ward	Shirley Crumhill John H. Higgins	24	\$1000	part N $\frac{1}{2}$ sec in No. 36078. Comm. in E. limit 572' W S of Lander St. Thence S 35° 23' W. 799' 9" x N 50° 24' W. 137' 4" x N 36° 41' E 225' x N 33° 26' E 530' to E. limit x S 122' 6" W to p. of b.
47157	MORTGAGE	1 Apr. 1946	29 Mar. 1946	John H. Higgins et al.	Edith M. Ward	2.1	\$1000	part sec in de 47156 4/14/55
47403	D. In.	29 Apr. 1946	2 May 1946	Charles E. C. Henderson	Alfreda Henderson			discharge No. 47403 4/15/53
47827	D. In.	12 May 1946	20 Jun 1946	Leona R. Pott	John Higgins			discharge No. 47827 4/19/53
48202	D. In.	9 Aug. 1946	15 Aug. 1946	Charles T. Sharpe	Robert J. Tipping et al.			discharge No. 48202 4/19/53
48220	Grant	25 Jan 1946	13 Aug. 1946	Alfreda J. Tipping et al.	Samuel W. Humphrey & Mary C. Humphrey, as joint tenants.		\$1000	Part + O.L. Comm. in W limit Centre at it's intersection with line btwn lots 16-1 SDS. 1 R 3 C.L.R. Thence W 103' 2" to E 4 22' - 24' pt. being the p. of b. Thence N 32° 53' 30" E 50' x N 42° 24' 30" W along Centre pt. 100' x S 100' x E 100' to S 4 6-24 x NE 74' 8" to p. of b.
48399	MORTGAGE	5 Sept. 1946	10 Sept. 1946	Chen Ying Tamm et al.	W. C. H. Copeland		\$1000	part sec in Sub 17. Cont'd ch
48699	MORTGAGE	1946	1946	Samuel W. Humphrey Mary E. Humphrey	Ch. Huron & Eric Metzger Corp.	2000	00	Part of sec in No. 48220 4/11/58
49263	Easement	30 Dec 1946	15 Jan 1947	Charles E. Henderson	The Hydro Electric Power Comm.		\$540 00	to maintain bank along line Pt. shown on attached plan.
49264	Easement	16 Dec 1946	15 Jan 1947	George W. Milburn	The Hydro Electric Power Comm.		\$1100 00	for the tower. Pt. shown on attached plan.
49265	Easement	13 Dec 1946	15 Jan 1947	George W. Lauer & Alice Lauer	The Hydro Electric Power Commission		\$1040 00	for the tower. Pt. shown on attached plan.
49532	D. In.	5 Mar 1947	17 Mar 1947	James E. Montgomery	Arthur D. & Eva M. Lawrence			discharge No. 49532 4/1/53
49533	Grant	17 Mar 1947	17 Mar 1947	Arthur D. Lawrence Eva M. Lawrence	Jessie P. Williams		\$1450 00	part sec in No. 49532 - Comm in W limit of Kuroterio St. where Thence S along p. of intersection 47' 6" x N 71' 6" x N 50' 2" Kuroterio St. to p. of b. if interested by production of plat of lot 2 Plan C-24 Thence S along p. of intersection 47' 6" x N 71' 6" x N 50' 2" Kuroterio St. to p. of b.
49579	MORTGAGE	17 Mar 1947	17 Mar 1947	Kenneth B. Barnstaple et al.	Theodore Bull		\$1750 00	part sec in No. 49580 4/1/53
49580	Grant	17 Mar 1947	17 Mar 1947	Theodore Bull et al.	Kenneth B. Barnstaple George W. Lauer et al.		\$2250 00	part sec in No. 49580 - Comm in W limit of Kuroterio St. where Thence S along p. of intersection 47' 6" x N 71' 6" x N 50' 2" Kuroterio St. to p. of b. if interested by production of plat of lot 2 Plan C-24 Thence S along p. of intersection 47' 6" x N 71' 6" x N 50' 2" Kuroterio St. to p. of b.
50033	Grant	15 May 1947	28 May 1947	Dr. J. J. Higgins	Harold C. Patton et al.		\$500 00	part sec in No. 49580 4/1/53
50105	Grant	15 May 1947	28 May 1947	Kenneth B. Barnstaple	George E. Williamson		\$500 00	part sec in No. 49580 4/1/53

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NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
58902	P.M.	27 July 1950	1 Aug 1950	George J. Melburn	Donna Brunskill			See also p. 52791
59197	Grant	29 Jan 1950	6 July 1950	Herbert E. Bull et ux	Walter J. Meenecken			2000 c. Part Comm in W limit of Centre Rd.
						357'8" S of N.L. Lot 16 Thence W 52° 76' 4" poft Thence S 85° 3' 1" x 1147' 5" x S 26° 3' 5" x NE 53° 0' to W limit of Centre Rd x N 30° 0' x S 60° 19' 3" x N 11° 1' Centre Rd. Joint in a limit of grantor's lands x S in a straight line to pof.		
59451	Grant	18 July 1950	18 Aug 1950	Toronto Dominion Hydro Electric Commission	Albert Franceschini			5300 c. Part Comm in
60202	Grant	25 Sept 1950	25 Sept 1950	Harold B. Jackson	Rene Condotta, tenant in common			No. 50292
60217	Grant	25 Sept 1950	25 Sept 1950	Harold B. Jackson	Robert W. Vichet & Fillion			See also p. 50914
60268	Grant	25 Sept 1950	30 Sept 1950	Alice M. Comery	Susan Morrison			7000 c. Part Comm in No. 42805
					Peter D. Comery			15/11/66
60977	Grant	9 Nov 1950	24 Nov 1950	Alfred J. Dipping	Rene A. Dowling			1500 c. Part Comm in No. 42805
				Myrtle D. Dipping	Harold Dowling			as joint tenants. In W limit of Hurontario St. 357' 236' NW of A&L Lot 16 Thence NW
61561	Grant	25 Jan 1951	24 Jan 1951	Walter Meenecken et ux	Samuel Fingold 1/2 share Harvey Fingold 1/4 share Frederick B. Dale 1/4 share			\$200 + c Part Comm at point of comm. in W limit of Centre Road. 357' 8" of N.L. Thence W 52° 76' 4" x S 85° 3' 1" x 47' 5" x 26° 3' 5" x E 53° 0' to pof. Thence N 30° 0' x W 40° 0' x S 20° 0' x E 40° 0' to pof.
62050	Grant	28 Mar 1951	30 Mar 1951	Charles Ritchie	Samuel Fingold			See also p. 55005
62501	Grant	30 Apr 1951	7 May 1951	Margaret Ritchie	Engineering Limited			28/2/53
63473	Grant	11 July 1951	13 July 1951	Samuel Fingold et ux	Canada Permanent Mortgage Corp			5000 c. Part Comm in
				Frederick B. Dale et ux				Common in W limit of Hurontario St. 357' 236' NW of A&L Lot 16 Thence NW
					Samuel Fingold et ux			1142 31 x 35 for lease part of

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
LOT 16				CONCESSION 1 SDS			
42051	Agmt	30 Sep 1976	9 Feb 1977	The Minister of Lands and Forests	Tru	\$1.00	To postpone registration No. 329747 V.S. of Canada as represented by The Minister of Lands and Forests
424779	agmt	16 Feb 1977	29 Mar 1977	Bad Bay Appliances and Furniture Limited	Steinberg's Limited	\$1.00	TO amend assignment of lease no. 218767 V.S.
425714	Grant	24 Mar 1977	4 Apr 1977	Michael Mura et ux Lorenzo Mura et ux	Robert B. Laurie, in trust	\$2.00 + c.	Part + O.L. as in no 48220 sketch attached
426902	DM.	15 Apr 1977	18 Apr 1977	Joseph Shagovitch	Swag Construction Limited		Discharging no. 22845 V.S. Htodor
426903	Grant	15 Apr 1977	18 Apr 1977	Ple International Inc. 31409905	Insala Holdings Ltd.	\$2.00 + c.	Part as in no. 116364 V.S.
426904	MORTGAGE	7 Mar 1977	18 Apr 1977	Insala Holdings Ltd.	Ple International Inc.	\$24,000.00	Part as in no. 116364 V.S. DISCHARGED BY No. 498958 Htodor
427049	Grant	11 Apr 1977	20 Apr 1977	Insala Holdings Ltd.	Aldo Citton trust	2.00 V.S.	Part as in no. 116364 V.S.
429050	MORTGAGE	18 Apr 1976	20 Apr 1977	Aldo Citton in trust	Insala Holdings Ltd.	23,000.00	Part as in no. 116364 V.S. DISCHARGED BY No. 506952 Htodor
427051	PART OF MORTGAGE	18 Apr 1977	20 Apr 1977	Insala Holdings Ltd. et al	Lawrence Defensor Investments Ltd.	2.00 V.S.	Assigning no. 427050. DISCHARGED BY No. 506952 Htodor
428111	Notice of Lease.	1 Apr 1977	29 Apr 1977	Steinberg's Limited	Lizammu Shops Limited		Re. lease dated 11 Feb. 1977. for a term of 1 yr. 11 mo & 29 days from 1 May 1977 to 29 Apr. 1979 with 2 renewal rights 1st option for a period of 10 yrs. 2nd option for a period of 5 yrs Part vol as in no. 250587 V.S. Sketch attached
429015	Grant	19 Apr 1977	4 May 1977	Robert B. Laurie, in trust	Lay-Hock Management Limited	2.00 + c.	Part + O.L. as in no 48220
429016	(after 429015)	next page					

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REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
550662	Grant of 19 June 1980	19 June 1980	19 June 1980	Colbridge Ave Coast Housing Trust Limited (P)	Prumpt Limited (P)	41/10/83	to commence action on lien for 523700.00 part as in 506193 located by 568349
550967	Grant	3 Mar 1980	23 June 1980	Chelvey Park Corporation	The Corporation of the City of Murrumbidgee	41/10/83	Part designated as Part I on 43 R 7721
552471	MORTGAGE	1 Mar 1980	11 July 1980	Chelvey Park Corporation	Bridge Investments Limited	50,000.00	Part of bonus NEL 532579 X SW 15' 70" X SE 90' 2 1/2" to p of c X SW 200' 5 1/4" X SE 355' 6" X NE 200' 1" X NW 374' 7 1/2" to p of c (1676 area) Sug with 1/2 to right to v. n. 15259 w. pt. 10 L Sug with 1/2 to right to v. n. 440128 Sug with 1/2 to right to v. n. on 430415
554310	ph D H	2 June 1980	31 July 1980	United Dominions Investments Limited	Jetsey Park Nursing Home Limited	100	ph designated as pt I on 43 R 7721 discharged from 438373
550486	Grant	5 Aug 1980	15 Sept 1980	Rena A. Dauling & Harold Dauling	Maria Manna	4200	Part of 08 comm 396.24 NW of Slyc theme NE 158.22' X SE 50' 158.22' SW 50' X NW 50' to p of c
550487	MORTGAGE	12 Sept 1980	15 Sept 1980	Maria Manna & Pasquale Manna, Thel part	Rena A. Dauling & Harold Dauling joint account	450,000.00	Part of 08 comm 558406 # 592790 Part. Cap. Land Reg. Jc. 16.10.81
550488	Grant	27 Aug 1980	15 Sept 1980	Doreen S. Noble & Rena A. Dauling executors of Alfred J. Duggan estate	Pasquale Manna	4200	Part of 08 comm 396.24 NW of Slyc theme NE 158.22' X SE 101.97' X SW 132.14' X NW 111.66' to p of c
550489	MORTGAGE	10 Sept 1980	15 Sept 1980	Pasquale Manna Manna Manna, Thel part	Doreen S. Noble & Rena A. Dauling executors of Alfred J. Duggan estate	450,000.00	Part of 08 comm 558406 Discharged by # 592789 1st. Cap. Land Reg. Jc. 16.10.81

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Received by #218150 Jeff Raul and Dan 90/08/207

ABSTRACT INDEX

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CONCESSION

1 SOUTH OF DUNDAS ST.

877753

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
877754	Asst of Rents	03-01-89	MANNA, Pasquale MANNA, Maria	CABOT Trust Co.		mtge. no. 877753
881845	Mort	02-02-89	792848 Ontario Ltd.	CANADIAN Imperial Bank of Commerce	8,000,000.00	Pt tog. with r of w & Subj. to easements as in no. 873016
					Discharged by # 9835	Asst. Dep. Land Reg. 9/10/96
881845	Mort	03-02-89	792848 Ontario Ltd.	HDS Health Group Ltd.	223,000.00	Pt & tog. with r of w & Subj. to easements as in no. 873016
881845	Mort	21-09-87	MISSISSAUGA PROFESSIONAL Building Inc.	COUNSEL Trust Co.	2,000,000.00	Pt designated as Pts 10, 11, 12 & 13 on 43R-14374 tog with r of w over Pts 2, 6 & 8 Subj. to easements re: 630303 & 630304
					Discharged by # 904684	Asst. Dep. Land Reg. 09-07-92
882296	Partial Discharge	09-02-89	COUNSEL Trust Co.			Pt designated as Pts 10, 11, 12 & 13 on 43R-14374 tog with r of w over Pts 2, 6 & 8 Subj. to easements re: 630303 & 630304
43R-16630	Reference Plan	89-03-08				part 2 & O.L. re no. 866224, 866225 part 3 & O.L. " part 4 & O.L. " & O.L.
895070	Grant	89-05-24	GREENING, Herald Benjamin McAULEY, Nancy Jean CLARK, Adam Hugh each as to an undivided 1/3 interest	SAMARA GROUP INVESTMENTS INC	\$555,000.00	part & O.L. as in 763467 Comm at Ely angle of lot 22. Thence NE 34.9' X NW 100.38' X Sly 132' X SE 100' X NE 74.75' to p of c
895071	Mort	89-05-24	SAMARA GROUP INVESTMENTS INC	CENTRAL GUARANTY TRUST COMPANY	\$420,000.00	Part & O.L. as in 763467 (895070)
					Discharged by # 175594	Asst. Dep. Land Reg. 10/9/02/03

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CONCESSION

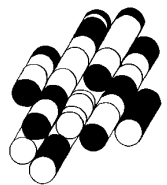
1 SDS

YR-MON-DAY

REGISTERED NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
925669	Debiture	90-02-01	846510 Ontario Inc.	Crown Inc.	0,000,000.00	Parcel 2: Part as in 901369
				Growth Properties Inc.		Savz and swept parts 4 and 5 on 43R-600
				New Orchard Lodge Limited		O.L. outside of Peel
929366	Mortgage	90-02-27	MISSISSAUGA RESR HOME INC.	THE CANADA LIFE ASSURANCE COMPANY	\$4,008,250.00	part, designated as pts 5, 6, 7, 8, 9 and 19 on 43R-14374. Tog. with & sub't to r of w. & Reserving r of w. & Sub't & Tog. with easements as in 817827
929367	Assignment	90-02-27	MISSISSAUGA REST HOME INC.	THE CANADA LIFE ASSURANCE COMPANY		RENTS, RE: No. 929366
929970	Notice of Security Interest	90-03-01	CROWN INC.			Part as in 901369
			GROWTH PROPERTIES INC.			re. Debiture 926669
			NEW ORCHARD LODGE LIMITED			ADK VR 96.09.30
912719	Grant	89-10-04	SAMARA GROUP INVESTMENTS INC.	859513 ONTARIO INC.	\$300,000.00	part & OL as in 895070
Entered ac 047 13.03.90				as to one-half interest		
935583	Partial Discharge	90-04-24	The Royal Bank of Canada			Part and O.L.-Being parts 3 and 4 on 43R-16630 discharged from mortgage 866226
902601	Mortgage	89-12-20	Quintain Developments Inc.	The Peel Board of Education	2,000,250.00	Parts 1, 2, 3 as in No. 782690
Re. Subj. 902601			IN TRUST/ J.S. By No. 936222 MAY 16/90			
936015	Partial Discharge	89-04-19	The Peel Board of Education			Part-Being parts 10, 11, 12, 13 on 43R-14374 discharged from mortgage 782690
Entered 902601						

APPENDIX B

TERRAPROBE INC.





Canada's Primary Environmental Risk Information Service

Project Site: 13-11-6210
2114 Hurontario Street
Mississauga, ON

Client: Shafi Andseta
Terraprobe Ltd
11 Indell Lane
Brampton, ON L6T3Y3

ERIS Project No: 20120103022

Report Type: Standard Report - .25km Search Radius

Prepared By: Rafal Wojtasik
rwojtasik@eris.ca

Date: January 11, 2012

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Site Name: 13-11-6210
Site Address: 2114 Hurontario Street Mississauga, ON
Report Type: Standard Report, 0.25 km Search Radius

	<u>Section</u>
Report Summary <i>This outlines the number of records from each database that fall on the site, and within various distances from the site.</i>	i
Site Diagram <i>The records that were found within a specified distance from the project property (the primary search radius) have been plotted on a diagram to provide you with a visual representation of the information available. Sites will be plotted on the diagram if there is sufficient information from the database source to determine accurate geographic coordinates. Each plotted site is marked with an acronym identifying the database in which the record was found (i.e., WDS for Waste Disposal Sites). These are referred to as "Map Keys". A variety of problems are inherent when attempting to associate various government or private source records with locations. EcoLog ERIS has attempted to make the best fit possible between the available data and their positions on the site diagram.</i>	ii
Site Profile <i>This table describes the records that relate directly to the property that is being researched.</i>	iii
Detail Report <i>This section represents information, by database, for the records found within the primary search radius. Listed at the end of each database are the sites that could not be plotted on the locator diagram because of insufficient address information. These records will not have map keys. They have been included because they may be found to be relevant during a more detailed investigation.</i>	iv

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Appendix: Database Descriptions

Report Summary

Order Number: 20120103022
 Site Name: 13-11-6210
 Site Address: 2114 Hurontario Street Mississauga, ON
 Report Type: Standard Report, 0.25 km Search Radius

Number of Mappable Records Surrounding the Site

Database		Selected	On-site	Within 0.25	0.25km to 2.00km	Total
AAGR	Abandoned Aggregate Inventory	Y	0	0	0	0
AGR	Aggregate Inventory	Y	0	0	0	0
AMIS	Abandoned Mine Information System	Y	0	0	0	0
ANDR	Anderson's Waste Disposal Sites	Y	0	0	0	0
AUWR	Automobile Wrecking & Supplies	Y	0	0	2	2
BORE	Borehole	Y	0	2	192	194
CA	Certificates of Approval	Y	0	8	87	95
CFOT	Commercial Fuel Oil Tanks	Y	0	0	4	4
CHEM	Chemical Register	Y	0	0	1	1
COAL	Coal Gasification Plants	Y	0	0	0	0
CONV	Compliance and Convictions	Y	0	0	0	0
DRL	Drill Hole Database	Y	0	0	0	0
EBR	Environmental Registry	Y	0	2	3	5
EEM	Environmental Effects Monitoring	Y	0	0	0	0
EHS	ERIS Historical Searches	Y	1	7	86	93
EIIS	Environmental Issues Information System	Y	0	0	0	0
FCON	Federal Convictions	Y	0	0	0	0
FCS	Contaminated Sites on Federal Land	Y	0	0	0	0
FOFT	Fisheries & Oceans Fuel Storage Tanks	Y	0	0	0	0
FST	Fuel Storage Tank	Y	0	0	19	19
GEN	Ontario Regulation 347 Waste Generators Summary	Y	0	11	238	249
IAFT	Indian & Northern Affairs Fuel Tanks	Y	0	0	0	0
MINE	Canadian Mine Locations	Y	0	0	0	0
MNR	Mineral Occurrences	Y	0	0	0	0
NATE	National Analysis of Trends in Emergencies System (NATES)	Y	0	0	0	0
NCPL	Non-Compliance Reports	Y	0	0	0	0
NDFT	National Defence & Canadian Forces Fuel Storage Tanks	Y	0	0	0	0
NDSP	National Defence & Canadian Forces Spills	Y	0	0	0	0
NDWD	National Defence & Canadian Forces Waste Disposal Sites	Y	0	0	0	0
NEES	National Environmental Emergencies System (NEES)	Y	0	0	0	0
NPCB	National PCB Inventory	Y	0	0	2	2
NPRI	National Pollutant Release Inventory	Y	0	0	13	13
OGW	Oil and Gas Wells	Y	0	0	0	0
OOGW	Ontario Oil and Gas Wells	Y	0	0	0	0
OPCB	Inventory of PCB Storage Sites	Y	0	0	1	1
PAP	Canadian Pulp and Paper	Y	0	0	0	0
PCFT	Parks Canada Fuel Storage Tanks	Y	0	0	0	0
PES	Pesticide Register	Y	0	0	29	29
PRT	Private and Retail Fuel Storage Tanks	Y	0	0	20	20
REC	Ontario Regulation 347 Waste Receivers Summary	Y	0	0	0	0
RSC	Record of Site Condition	Y	0	0	10	10
RST	Retail Fuel Storage Tanks	Y	0	0	10	10

Report Summary

Order Number: 20120103022

Site Name: 13-11-6210

Site Address: 2114 Hurontario Street Mississauga, ON

Report Type: Standard Report, 0.25 km Search Radius

Database		Selected	On-site	Within 0.25	0.25km to 2.00km	Total
SCT	Scott's Manufacturing Directory	Y	0	9	120	129
SPL	Ontario Spills	Y	0	4	74	78
SRDS	Wastewater Discharger Registration Database	Y	0	0	0	0
TANK	Anderson's Storage Tanks	Y	0	0	0	0
TCFT	Transport Canada Fuel Storage Tanks	Y	0	0	0	0
VAR	Variances for Abandonment of Underground Storage Tanks	Y	0	0	0	0
WDS	Waste Disposal Sites - MOE CA Inventory	Y	0	0	0	0
WDSH	Waste Disposal Sites - MOE 1991 Historical Approval Inventory	Y	0	0	0	0
WWIS	Water Well Information System	Y	0	2	61	63
		TOTAL	1	45	972	1,017

The databases chosen by the client as per the submitted order form are denoted in the 'Selected' column in the above table. Counts have been provided outside the primary buffer area for cursory examination only. These records have not been examined or verified, therefore, they are subject to change.



Pinpointing Your Environmental Risks

12 Concorde Pl, Suite 800 North York, ON M3C 4J2
416-510-5204

Project Property: 13-11-6210
2114 Hurontario Street
Mississauga, ON

ERIS Project #: 20120103022

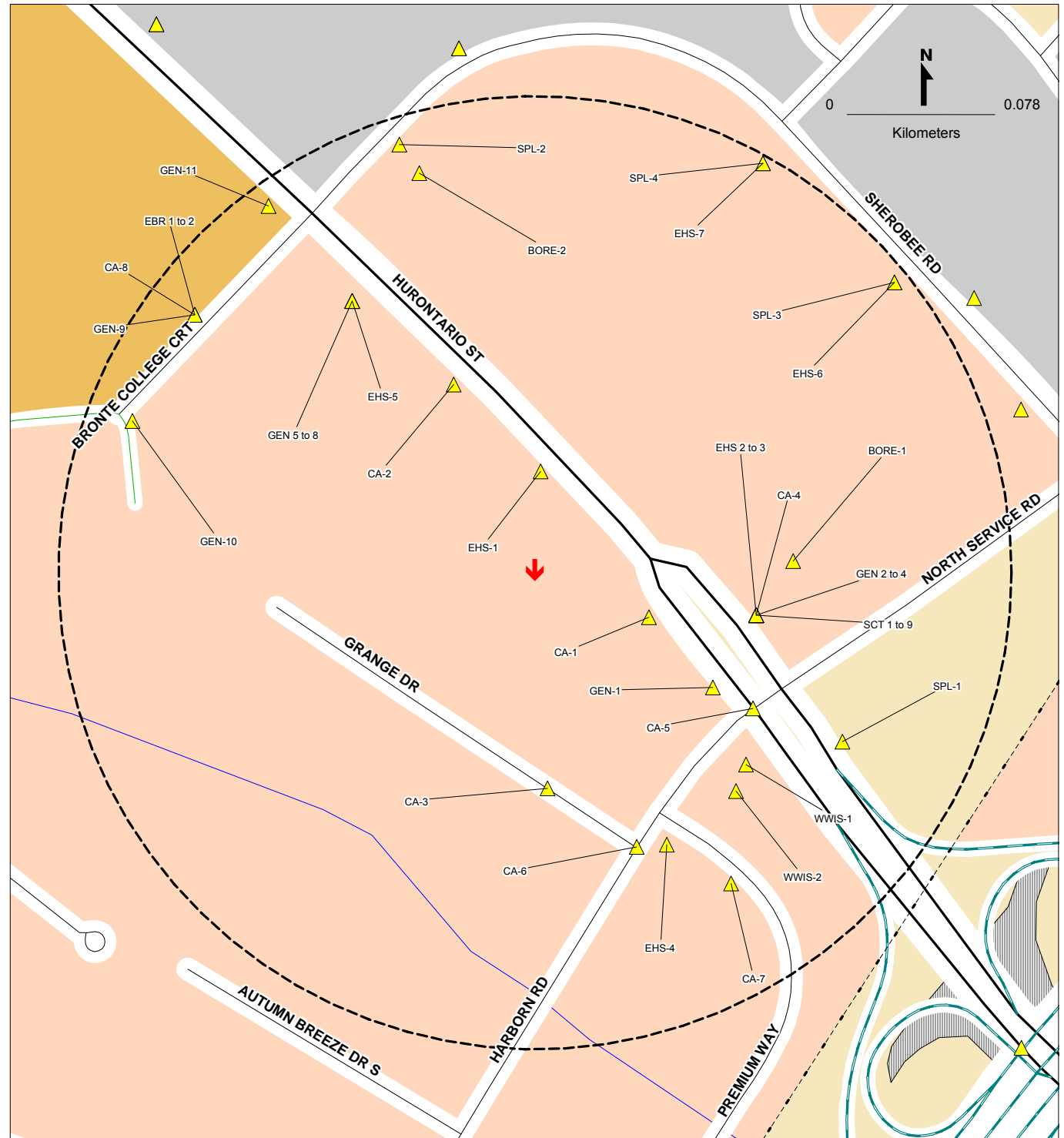
Date: JAN-12-2012

LEGEND

	Project Property	Landuse Classifications
	Database Location	Open Area
Points of Interest		Residential
	Chimney	Commercial
	Silo	Resource and Industrial
Pipe & Transmission Lines		Government and Institutional
	Pipeline	Parks and Recreational
	Transmission Line	Waterbody
	Transmission Tower	Recreation
	Transformer Station	Golf Course/Driving Range
Rail		Park/Sports Field
	Railway - Main	Other Recreation Area
	Railway - Sidetrack	Sports/Race Track
	Railway - Abandoned	Cemetery
	Bridge	Campground
	Tunnel	Vegetation
Transportation - Other		Wooded Area
	Embankment	Orchard
	Trail	Vineyard
	Runway	Industrial Resources
Hydrographic Features		Conveyor
	Permanent Waterway	Crane: Moveable
	Intermittent Waterway	Crane: Stationary
	Open Reservoir	Tank
	Dyke/Levee	Rock Cut
	Dam	Auto Wrecker
	Breakwall	Lumber Yard
	Wetland	Pit

This diagram is to be used solely for relative street location purposes.
It may not accurately portray street or site positions.

SITE DIAGRAM



Site Report

Order Number: 20120103022

Site Name: 13-11-6210

Site Address: 2114 Hurontario Street Mississauga, ON

Report Type: Standard Report, 0.25 km Search Radius

FOR COMPLETE INFORMATION, REFER TO DETAIL REPORT

ERIS Historical Searches

Map Key	Company Name	Address	City	Postal Code
EHS-1		Forntinf West Side of Hurontario 2130 Hurontario Street	Mississauga	

Detail Report

Order Number: 20120103022

Site Name: 13-11-6210

Site Address: 2114 Hurontario Street Mississauga ON

Report Type: Standard Report, 0.25 km Search Radius

If information is required for sites located beyond the selected address, please contact your ERIS representative.

Borehole

Certificates of Approval

Environmental Registry

ERIS Historical Searches

Ontario Regulation 347 Waste Generators Summary

Scott's Manufacturing Directory

Ontario Spills

Water Well Information System

Borehole

Map Key	Company	Address	Borehole ID	Type	Use
BORE-1			654424	Borehole	Geotechnical/Geological Investigation
Status:					
Drill Method: Boring					
UTM Zone: 17					
Easting: 612915.000					
Northing: 4825123.000					
Location Accuracy:					
Orig. Ground Elevation(m): 101.500000					
Elev. Reliability Note:					
DEM Ground Elevation(m): 102.099998					
Total Depth(m): 4.900000					
Primary Name:					
Township:					
Concession:					
Lot:					
Municipality					
Completion Date: 1962-OCT					
Static Water Level:					
Primary Water Use: Not Used					
Secondary Water Use:					
Location Description:					
Geology					
Stratum ID					
Top Depth(m)					
Bottom Depth(m)					
Stratum Desc					
218543319			0.700000	2.600000	TILL,SAND. BROWN,VERY DENSE.
218543320			2.600000	4.900000	TILL,SAND. GREY,VERY DENSE.
					000000410002206100085090, SA
218543318			0	0.700000	CLAY,SILT. BROWN.

Borehole

Map Key	Company	Address	Borehole ID	Type	Use
BORE-2			654407	Borehole	Geotechnical/Geological Investigation
			Status: Drill Method: Power auger UTM Zone: 17 Easting: 612715.000 Northing: 4825323.000 Location Accuracy: Orig. Ground Elevation(m): 103.599998 Elev. Reliability Note: DEM Ground Elevation(m): 104 Total Depth(m): 10.700000 Primary Name: Township: Concession: Lot: Municipality Completion Date: 1971-DEC Static Water Level: 0 Primary Water Use: Not Used Secondary Water Use: Location Description:		
			Geology	Top Depth(m)	Bottom Depth(m)
			Stratum ID		Stratum Desc
			218543254	0	1.200000
					SAND-MEDIUM,SILT. BROWN,DENSE, WATER STABLE AT 340.0 FEET.
			218543255	1.200000	4.600000
					TILL,SILT. GREY,HARD.
			218543256	4.600000	6.100000
					TILL,SILT. GREY,HARD.
			218543257	6.100000	8.700000
					TILL,SILT. GREY,HARD.
			218543258	8.700000	10.700000
					SHALE,LIMESTONE. GREY. 000000380004005000150150 00200200

Certificates of Approval

Map Key	Company	Address	Certificate #	Application Year	Issue Date	Approval Type	Status	Application Type
CA-1	HURONTARIO OFFICE CENTRE INC.	2100 HURONTARIO ST. MISSISSAUGA CITY L5B 1M8	3-1084-99-	99	9/16/1999	Municipal sewage	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-2	PLM Holdings Inc.	2150 Hurontario Street Mississauga L5B 1M8	9288-693SFN	2005	2/1/2005	Municipal and Private Sewage Works	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-3	Berkley Homes (Gordon Woods II) Inc.	Grange Dr Mississauga	5403-7JTR2T	2008	9/25/2008	Municipal and Private Sewage Works	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-4	GWL Realty Advisors Inc.	2085 Hurontario St Mississauga L5A 4G1	7256-7AYSJE	2008	5/13/2008	Air	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					

Certificates of Approval

Map Key	Company	Address	Certificate #	Application Year	Issue Date	Approval Type	Status	Application Type
CA-5	MISSISSAUGA CITY	HURONTARIO ST/HARBORN RD. MISSISSAUGA CITY	3-0582-97-	97	5/28/1997	Municipal sewage	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-6	R.M. OF PEEL	GRANGE DR/HARBORN RD. MISSISSAUGA CITY	7-1184-95- 006	95	12/20/95	Municipal water	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-7	Berkley Homes (Gordon Woods II) Inc.	Premium Way Mississauga	9140-7JMHNJ	2008	9/22/2008	Municipal and Private Sewage Works	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					
CA-8	Trillium Health Centre	15 Bronte College Crt Mississauga L5B 0E7	6188-7QFJNV	2009	3/25/2009	Air	Approved	
			Client Name: Client Address: Client City: Client Postal Code: Project Description: Contaminants: Emission Control:					

Page 1 of Environmental Registry
Environmental Risk Information Services Ltd.

ERIS Historical Searches

Map Key	Company	Address	Order No.	Report Date	Report Type	Search Radius (km)
EHS-1		Forntinf West Side of Hurontario 2130 Hurontario Street Mississauga	20080411025 Addit. Info Ordered:	4/17/2008	Complete Report	0.25
EHS-2		2085 Hurontario Street Mississauga L5A 4G1	20110824019 Addit. Info Ordered:	9/1/2011	Standard Report	0.25
EHS-3		2085 Hurontario Street MISSISSAUGA L5A 4G1	20090504064w Addit. Info Ordered:	5/4/2009	Self Serve Instant Report	0.25
EHS-4		39 and 42 Harborn Road Mississauga	20060907030 Addit. Info Ordered:	9/18/2006	Complete Report	0.25
EHS-5		2180 Hurontario Street Mississauga L5B 1M8	20080704031 Addit. Info Ordered:	7/15/2008	Complete Report	0.25
EHS-6		2100 Sherobee Road Mississauga L5A 4C5	20100303008 Addit. Info Ordered:	3/11/2010	Standard Report	0.25
EHS-7		2170 Sherobee road Mississauga L5A 3P8	20100510012 Addit. Info Ordered:	5/19/2010	Custom Report	0.35

Ontario Regulation 347 Waste Generators Summary

Map Key	Company	Address	SIC Code	SIC Description	Waste Code	Waste Description
GEN-1	Summerville Family Health Team Harborn Location	2090 Hurontario St. Mississauga L5B 1M8	Generator #: Approval Yrs:	ON4630519 As of Oct 2010	312	Pathological wastes
GEN-2	Trillium Health Centre	2085 Hurontario Street Mississauga L5A 4G1	Generator #: Approval Yrs:	ON4047570 As of Oct 2010	312	Pathological wastes
GEN-3	The Great West Life Assurance Company	2085 Hurontario St. Mississauga L5A 4G1	551114	Head Offices	145	PAINT/PIGMENT/COATING RESIDUES
			Generator #: Approval Yrs:	ON8446233 04,05,06,07,08	212	ALIPHATIC SOLVENTS
					252	WASTE OILS & LUBRICANTS
GEN-4	The Great West Life Assurance Company	2085 Hurontario St. Mississauga L5A 4G1	Generator #: Approval Yrs:	ON8446233 As of Jan 2010	212	Aliphatic solvents and residues
GEN-5	TURNER & PORTER FUNERAL DIRECTORS	2180 HURONTARIO STREET MISSISSAUGA L5B 1M8	9731	FUNERAL HOMES	251	OIL SKIMMINGS & SLUDGES
			Generator #: Approval Yrs:	ONF037100 92,93,97,98,99,00,01,03,04 ,05,06,07,08	312	PATHOLOGICAL WASTES
GEN-6	TURNER & PORTER FUNERAL DIRECTORS Peel Chapel	2180 HURONTARIO STREET MISSISSAUGA L5B 1M8	Generator #: Approval Yrs:	ONF037100 As of Oct 2010	251	Waste oils/sludges (petroleum based)
					312	Pathological wastes
GEN-7	TURNER & PORTER FUNERAL DIRECTORS	LIMITED 2180 HURONTARIO STREET MISSISSAUGA L5B 1M8	9731	FUNERAL HOMES	312	PATHOLOGICAL WASTES
			Generator #: Approval Yrs:	ONF037100 88,89,90		
GEN-8	TURNER & PORTER FUNERAL DIRECTORS 44-371	LIMITED 2180 HURONTARIO STREET MISSISSAUGA L5B 1M8	9731	FUNERAL HOMES	251	OIL SKIMMINGS & SLUDGES
			Generator #: Approval Yrs:	ONF037100 94,95,96	312	PATHOLOGICAL WASTES

Ontario Regulation 347 Waste Generators Summary

Map Key	Company	Address	SIC Code	SIC Description	Waste Code	Waste Description
GEN-9	Trillium Health Centre	15 Bronte College Road Mississauga L5B 0E7	8511	ELEMT./SECON. EDUC.	312	Pathological wastes
GEN-10	BRONTE COLLEGE OF CANADA	88 BRONTE COLLEGE COURT MISSISSAUGA L5B 1M9	8511	ELEMT./SECON. EDUC.	146	Other specified inorganic sludges, slurries or solids
					148	Misc. wastes and inorganic chemicals
GEN-11	SHERIDAN COLLEGE	CREDIT VALLEY 2186 HURONTARIO STREET MISSISSAUGA L5B 1M9	8511	ELEMT./SECON. EDUC.	263	Misc. waste organic chemicals
GEN-11	SHERIDAN COLLEGE	CREDIT VALLEY 2186 HURONTARIO STREET MISSISSAUGA L5B 1M9	8511	ELEMT./SECON. EDUC.	312	PATHOLOGICAL WASTES

Scott's Manufacturing Directory

Map Key	Company	Address	Established	Plant Size (ft ²)	Employment	SIC/NAICS Code	Description
SCT-1	STEPHAN MACHINERY (CANADA) LTD	2085 HURONTARIO ST SUITE 300 MISSISSAUGA L5A 4G1	1908	0	1	3556	FOOD PRODUCTS MACHINERY
						3599	INDUSTRIAL AND COMMERCIAL MACHINERY AND EQUIPMENT, NOT ELSEWHERE CLASSIFIED
						3841	SURGICAL AND MEDICAL INSTRUMENTS AND APPARATUS
SCT-2	Cincom Systems of Canada Ltd	2085 Hurontario St Suite 200 Mississauga L5A 4G1	01-JUN-67			511210	Software Publishers
SCT-3	J T GILMOUR INC.	2085 HURONTARIO ST SUITE 300 MISSISSAUGA L5A 4G1	1894	0	1	414420	Book, Periodical and Newspaper Wholesaler- Distributors
						418990	All Other Wholesaler- Distributors
SCT-4	Owen Media Partners Inc.	2085 Hurontario St Suite 208 Mississauga L5A 4G1	01-AUG-97			511140	Directory and Mailing List Publishers
SCT-5	Reprodux Copy Centres Ltd.	2085 Hurontario St Suite 101 Mississauga L5A 4G1	01-JUL-63	1400		418210	Stationery and Office Supplies Wholesaler-Distributors
						323114	Quick Printing
						323119	Other Printing
						323115	Digital Printing
						561430	Business Service Centres
SCT-6	Stephan Machinery (Canada) Limited	2085 Hurontario St Suite 300 Mississauga L5A 4G1	1908	175	1	417230	Industrial Machinery, Equipment and Supplies Wholesaler- Distributors
						417920	Service Establishment Machinery, Equipment and Supplies Wholesaler- Distributors

Scott's Manufacturing Directory

Map Key	Company	Address	Established	Plant Size (ft ²)	Employment	SIC/NAICS Code	Description
SCT-7	Autobranh Technologies	2085 Hurontario St Suite 300 Mississauga L5A 4G1	1999		20	511210	Software Publishers
SCT-8	ONIX SYSTEMS GROUP INC.	2085 Hurontario St Suite 300 Mississauga L5A 4G1	1991	0	3	541510 511210	Computer Systems Design and Related Services Software Publishers
SCT-9	REPRODUX LIMITED	2085 HURONTARIO ST SUITE 101 MISSISSAUGA L5A 4G1	1963	1400	4	323114 323115 323119 561430	Quick Printing Digital Printing Other Printing Business Service Centres

Ontario Spills

Map Key	Company	Address	Ref No.	Incident Dt	MOE Reported Dt	Contaminant Name	Contaminant Quantity
SPL-1	ELF ATOCHEM CANADA INC.	QEW EAST/WESTBOUND - 2055 HURONTARIO ST. TRANSPORT TRUCK (CARGO) MISSISSAUGA CITY L5A 2E6	92116	10/7/1993	10/7/1993		
			Incident Summary:		ELF ATOCHEM: 800L WASHINGLIQUID LEAK TO HWY AND PARKING LOT		
			Incident Cause:		OTHER CONTAINER LEAK		
			Incident Reason:		UNKNOWN		
			Nature of Impact:		Soil contamination		
			Receiving Medium:		LAND		
			Environmental Impact:		CONFIRMED		
SPL-2	WASTE MANAGEMENT INC.	2200 SHEROBEE MOTOR VEHICLE (OPERATING FLUID) MISSISSAUGA CITY L5A 3Y3	45943	1/22/1991	1/22/1991		
			Incident Summary:		WASTE MGMT INC - 25 LTR HYDRAULIC OIL TO PVMT FROM BROKEN TRUCK HOSE		
			Incident Cause:		PIPE/HOSE LEAK		
			Incident Reason:		MATERIAL FAILURE		
			Nature of Impact:				
			Receiving Medium:		LAND		
			Environmental Impact:		NOT ANTICIPATED		
SPL-3		2100 Sherobe Drive Mississauga	3414-6ZBN8G		3/15/2007	REFRIGERANT GAS, N.O.S.	375 lb
			Incident Summary:		S. 21(1)(f): 375 lbs of R134 refrigerant to atmosphere		
			Incident Cause:		Discharge Or Bypass To A Watercourse		
			Incident Reason:		Damage By Moving Equipment - Containers damaged by moving		
			Nature of Impact:		Air Pollution		
			Receiving Medium:		Air		
			Environmental Impact:		Confirmed		
SPL-4	PUC	2170 SHEROBEE RD. TRANSFORMER MISSISSAUGA CITY L5A 3P8	21221	6/28/1989	6/28/1989		
			Incident Summary:		PUC - 25 LTR OIL FOUND ONFLOOR OF TRANSFORMER VAULT, TESTED NON-PCB.		
			Incident Cause:		COOLING SYSTEM LEAK		
			Incident Reason:		UNKNOWN		
			Nature of Impact:				
			Receiving Medium:		LAND		
			Environmental Impact:		NOT ANTICIPATED		

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Water Well Information System

Map Key	Company	Address	Well Id	Lot	Concession	Concession Name	County	Municipality
WWIS-2		MISSISSAUGA	4909961				PEEL	MISSISSAUGA CITY (PORT CREDIT)
Easting Nad83: 612887 Northing Nad83: 4825002 Zone: 17 Utm Reliability: Construction Date: 10/25/2005 Primary Water Use: Not Used Secondary Water Use: Well Depth: 7.7 m Pump Rate: Static Water Level: Flow Rate: Clear/Cloudy: Specific Capacity: Final Well Status: Test Hole Construction Method: Boring Flowing (y/n): Elevation (m): 102.62284 Elevation Reliability: Depth to Bedrock: Overburden/Bedrock: Overburden Water Type: FRESH Casing Material:								
			<u>Thickness</u>	<u>Original Depth</u>	<u>Material Colour</u>		<u>Material</u>	
			0.31 m	0.31 m	BROWN		SAND, FILL	
			5.19 m	5.5 m	BROWN		SAND	
			2.2 m	7.7 m	GREY		CLAY	

Appendix: Ontario Database Descriptions

EcoLog Environmental Risk Information Services Ltd can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to EcoLog ERIS at the time of update. **Note:** Databases denoted with “*” indicates that the database will no longer be updated. See the individual database descriptions for more information.

Provincial Government Source Databases:

Abandoned Aggregate Inventory Up to Sept 2002

AAGR

The MAAP Program maintains a database of all abandoned pits and quarries. Please note that the database is only referenced by lot and concession and city/town location. The database provides information regarding the location, type, size, land use, status and general comments.

Aggregate Inventory Up to Jun 2010

AGR

The Ontario Ministry of Natural Resources maintains a database of all active pits and quarries. Please note that the database is only referenced by lot\concession and city/town location. The database provides information regarding the registered owner/operator, location, status, licence type, and maximum tonnage.

Abandoned Mines Information System 1800-2005

AMIS

The Abandoned Mines Information System contains data on known abandoned and inactive mines located on both Crown and privately held lands. The information was provided by the Ministry of Northern Development and Mines (MNDM), with the following disclaimer: “the database provided has been compiled from various sources, and the Ministry of Northern Development and Mines makes no representation and takes no responsibility that such information is accurate, current or complete”. Reported information includes official mine name, status, background information, mine start/end date, primary commodity, mine features, hazards and remediation.

Borehole 1875-Aug 2011

BORE

A borehole is the generalized term for any narrow shaft drilled in the ground, either vertically or horizontally. The information here includes geotechnical investigations or environmental site assessments, mineral exploration, or as a pilot hole for installing piers or underground utilities. Information is from many sources such as the Ministry of Transportation (MTO) boreholes from engineering reports and projects from the 1950 to 1990’s in Southern Ontario. Boreholes from the Ontario Geological Survey (OGS) including The Urban Geology Analysis Information System (UGAIS) and the York Peel Durham Toronto (YPDT) database of the Conservation Authority Moraine Coalition. This database will include fields such as location, stratigraphy, depth, elevation, year drilled, etc.

For all water well data or oil and gas well data for Ontario please refer to WWIS and OOGW.

Certificates of Approval 1985-Sept 2011

CA

This database contains the following types of approvals: Air & Noise, Industrial Sewage, Municipal & Private Sewage, Waste Management Systems and Renewable Energy Approvals. The MOE in Ontario states that any facility that releases emissions to the atmosphere, discharges contaminants to ground or surface water, provides potable water supplies, or stores, transports or disposes of waste, must have a Certificate of Approval before it can operate lawfully. Fields include approval number, business name, address, approval date, approval type and status.

TSSA Commercial Fuel Oil Tanks 1948-Aug 2011

CFOT

Since May 2002, Ontario developed a new act where it became mandatory for fuel oil tanks to be registered with Technical Standards & Safety Authority (TSSA). This data would include all commercial underground fuel oil tanks in Ontario with fields such as location, registration number, tank material, age of tank and tank size.

Coal Gasification Plants and Coal Tar Sites April 1987 and November 1988***COAL**

This inventory includes both the “Inventory of Coal Gasification Plant Waste Sites in Ontario-April 1987” and the “Inventory of Industrial Sites Producing or Using Coal Tar and Related Tars in Ontario-November 1988) collected by the MOE. It identifies industrial sites that produced and continue to produce or use coal tar and other related tars. Detailed information is available and includes: facility type, size, land use, information on adjoining properties, soil condition, site operators/occupants, site description, potential environmental impacts and historic maps available. This was a one-time inventory.*

Compliance and Convictions 1989-Oct 2011**CONV**

This database summarizes the fines and convictions handed down by the Ontario courts beginning in 1989. Companies and individuals named here have been found guilty of environmental offenses in Ontario courts of law.

Drill Holes 1886-2005**DRL**

The Ontario Drill Hole Database contains information on more than 113,000 percussion, overburden, sonic and diamond drill holes from assessment files on record with the department of Mines and Minerals. Please note that limited data is available for southern Ontario, as it was the last area to be completed. The database was created when surveys submitted to the Ministry were converted in the Assessment File Research Image Database (AFRI) project. However, the degree of accuracy (coordinates) as to the exact location of drill holes is dependent upon the source document submitted to the MNDM. Levels of accuracy used to locate holes are: centering on the mining claim; a sketch of the mining claim; a 1:50,000 map; a detailed company map; or from submitted a “Report of Work”.

Environmental Registry 1994-Oct 2011**EBR**

The Environmental Registry lists proposals, decisions and exceptions regarding policies, Acts, instruments, or regulations that could significantly affect the environment. Through the Registry, thirteen provincial ministries notify the public of upcoming proposals and invite their comments. For example, if a local business is requesting a permit, licence, or certificate of approval to release substances into the air or water; these are notified on the registry. Data includes things like; Approval for discharge into the natural environment other than water (i.e. Air), Permit to Take Water (PTTW), Certificate of Property Use (CPU), Approval for a waste disposal site, Order for preventative measures.(EPA s. 18), Order for conformity with Act for waste disposal sites.(EPA s. 44), Order for remedial work.(EPA s. 17) and many more.

TSSA Fuel Storage Tanks Current to Jun 2011**FST**

The Technical Standards & Safety Authority (TSSA), under the *Technical Standards & Safety Act* of 2000 maintains a database of registered private and retail fuel storage tanks in Ontario with fields such as location, tank status, license date, tank type, tank capacity, fuel type, installation year and facility type.

Ontario Regulation 347 Waste Generators Summary 1986-Oct 2010**GEN**

Regulation 347 of the Ontario EPA defines a waste generation site as any site, equipment and/or operation involved in the production, collection, handling and/or storage of regulated wastes. A generator of regulated waste is required to register the waste generation site and each waste produced, collected, handled, or stored at the site. This database contains the registration number, company name and address of registered generators including the types of hazardous wastes generated. It includes data on waste generating facilities such as: drycleaners, waste treatment and disposal facilities, machine shops, electric power distribution etc. This information is a summary of all years from 1986 including the most currently available data. Some records may contain, within the company name, the phrase “See & Use...” followed by a series of letters and numbers. This occurs when one company is amalgamated with or taken over by another registered company. The number listed as “See & Use”, refers to the new ownership and the other identification number refers to the original ownership. This phrase serves as a link between the 2 companies until operations have been fully transferred.

Mineral Occurrences 1846-Nov 2010**MNR**

In the early 70's, the Ministry of Northern Development and Mines created an inventory of approximately 19,000 mineral occurrences in Ontario, in regard to metallic and industrial minerals, as well as some information on building stones and aggregate deposits. Please note that the "Horizontal Positional Accuracy" is approximately +/- 200 m. Many reference elements for each record were derived from field sketches using pace or chain/tape measurements against claim posts or topographic features in the area. The primary limiting factor for the level of positional accuracy is the scale of the source material. The testing of horizontal accuracy of the source materials was accomplished by comparing the planimetric (X and Y) coordinates of that point with the coordinates of the same point as defined from a source of higher accuracy.

Non-Compliance Reports 1992(water only), 1994-2009**NCPL**

The Ministry of the Environment provides information about non-compliant discharges of contaminants to air and water that exceed legal allowable limits, from regulated industrial and municipal facilities. A reported non-compliance failure may be in regard to a Control Order, Certificate of Approval, Sectoral Regulation or specific regulation/act.

Ontario Oil and Gas Wells 1800-Jun 2011**OOGW**

In 1998, the MNR handed over to the Ontario Oil, Gas and Salt Resources Corporation, the responsibility of maintaining a database of oil and gas wells drilled in Ontario. The OGSR Library has over 20,000+ wells in their database. Information available for all wells in the ERIS database include well owner/operator, location, permit issue date, well cap date, licence no., status, depth and the primary target (rock unit) of the well being drilled. All geology/stratigraphy table information, plus all water table information is also provide for each well record.

Ontario Inventory of PCB Storage Sites 1987-Oct 2004**OPCB**

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of PCB storage sites within the province. Ontario Regulation 11/82 (Waste Management - PCB) and Regulation 347 (Generator Waste Management) under the Ontario EPA requires the registration of inactive PCB storage equipment and/or disposal sites of PCB waste with the Ontario Ministry of Environment. This database contains information on: 1) waste quantities; 2) major and minor sites storing liquid or solid waste; and 3) a waste storage inventory.

Pesticide Register 1988-Mar 2011**PES**

The Ontario Ministry of Environment maintains a database of all manufacturers and vendors of registered pesticides.

Private and Retail Fuel Storage Tanks 1989-1996***PRT**

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks and licensed retail fuel outlets. This database includes an inventory of locations that have gasoline, oil, waste oil, natural gas and/or propane storage tanks on their property. The MCCR no longer collects this information. This information is now collected by the Technical Standards and Safety Authority (TSSA).

Ontario Regulation 347 Waste Receivers Summary 1986-2008**REC**

Part V of the Ontario Environmental Protection Act ("EPA") regulates the disposal of regulated waste through an operating waste management system or a waste disposal site operated or used pursuant to the terms and conditions of a Certificate of Approval or a Provisional Certificate of Approval. Regulation 347 of the Ontario EPA defines a waste receiving site as any site or facility to which waste is transferred by a waste carrier. A receiver of regulated waste is required to register the waste receiving facility. This database represents registered receivers of regulated wastes, identified by registration number, company name and address, and includes receivers of waste such as: landfills, incinerators, transfer stations, PCB storage sites, sludge farms and water pollution control plants. This information is a summary of all years from 1986 including the most currently available data.

Record of Site Condition 1997-Sept 2001, Oct 2004-Oct 2011**RSC**

The Record of Site Condition (RSC) is part of the Ministry of the Environment's Brownfields Environmental Site Registry. Protection from environmental cleanup orders for property owners is contingent upon documentation known as a record of site condition (RSC) being filed in the Environmental Site Registry. In order to file an RSC, the property must have been properly assessed and shown to meet the soil, sediment and groundwater standards appropriate for the use, such as residential, proposed to take place on the property. The Record of Site Condition Regulation (O. Reg. 153/04) details requirements related to site assessment and clean up. Information available includes Registration Number, Filing Owner, Property Address, Filing Date and Municipality.

Ontario Spills 1988-Nov 2010**SPL**

This database identifies information such as location (approximate), type and quantity of contaminant, date of spill, environmental impact, cause, nature of impact, etc. Information from 1988-2002 was part of the ORIS (Occurrence Reporting Information System). The SAC (Spills Action Centre) handles all spills reported in Ontario. Regulations for spills in Ontario are part of the MOE's Environmental Protection Act, Part X.

Wastewater Discharger Registration Database 1990-2009**SRDS**

Information under this heading is combination of the following 2 programs. The Municipal/Industrial Strategy for Abatement (MISA) division of the Ontario Ministry of Environment maintained a database of all direct dischargers of toxic pollutants within nine sectors including: Electric Power Generation; Mining; Petroleum Refining; Organic Chemicals; Inorganic Chemicals; Pulp & Paper; Metal Casting; Iron & Steel; and Quarries. All sampling information is now collected and stored within the Sample Result Data Store (SRDS).

TSSA Variances for Abandonment of Underground Storage Tanks Current to October 2011**VAR**

The TSSA, Under the Liquid Fuels Handling Code and the Fuel Oil Code, all underground storage tanks must be removed within two years of disuse. If removal of a tank is not feasible, you may apply to seek a variance from this code requirement. This is a list of all variances granted for abandoned tanks.

Waste Disposal Sites - MOE CA Inventory 1970-Sept 2011**WDS**

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of known open (active or inactive) and closed disposal sites in the Province of Ontario. Active sites maintain a Certificate of Approval, are approved to receive and are receiving waste. Inactive sites maintain Certificate(s) of Approval but are not receiving waste. Closed sites are not receiving waste. The data contained within this database was compiled from the MOE's Certificate of Approval database. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number. For more current information for Waste Disposal Sites please see the EBR database, which will include information such as 'Approval for a waste disposal site (EPA s.27)' and 'Approval for use of a former waste disposal site (EPA s.46)'.

Waste Disposal Sites - MOE 1991 Historical Approval Inventory Up to Oct 1990***WDSH**

In June 1991, the Ontario Ministry of Environment, Waste Management Branch, published the "June 1991 Waste Disposal Site Inventory", of all known active and closed waste disposal sites as of October 30st, 1990. For each "active" site as of October 31st 1990, information is provided on site location, site/CA number, waste type, site status and site classification. For each "closed" site as of October 31st 1990, information is provided on site location, site/CA number, closure date and site classification. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number.

Water Well Information System 1955-Mar 2011**WWIS**

This database describes locations and characteristics of water wells found within Ontario in accordance with Regulation 903. It includes such information as coordinates, construction date, well depth, primary and secondary use, pump rate, static water level, well status, etc. Also included are detailed stratigraphy information, approximate depth to bedrock and the approximate depth to the water table.

Federal Government Source Databases:**Diagram Identifier:****Environmental Effects Monitoring 1992-2007*****EEM**

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

Environmental Issues Inventory System 1992-2001***EIIS**

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

Federal Convictions 1988-Jun 2007**FCON**

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

Contaminated Sites on Federal Land June 2000-Sept 2011**FCS**

The Treasury Board of Canada Secretariat maintains an inventory of all known contaminated sites held by various Federal departments and agencies. This inventory does not include properties owned by Crown corporations, but does contain non-federal sites for which the Government of Canada has accepted some or all financial responsibility. All sites have been classified through a system developed by the Canadian Council of Ministers of the Environment. The database provides information on company name, location, site ID #, property use, classification, current status, contaminant type and plan of action for site remediation.

Fisheries & Oceans Fuel Tanks 1964-Sept 2003**FOFT**

Fisheries & Oceans Canada maintains an inventory of all aboveground & underground fuel storage tanks located on Fisheries & Oceans property or controlled by DFO. Our inventory provides information on the site name, location, tank owner, tank operator, facility type, storage tank location, tank contents & capacity, and date of tank installation.

Indian & Northern Affairs Fuel Tanks 1950-Aug 2003**IAFT**

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of all aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

National Analysis of Trends in Emergencies System (NATES) 1974-1994***NATE**

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

National Defence & Canadian Forces Fuel Tanks Up to May 2001***NDFT**

The Department of National Defence and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

National Defence & Canadian Forces Spills Mar 1999-Aug 2010

The Department of National Defence and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the “Transportation of Dangerous Goods Act - 1992”. Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

National Defence & Canadian Forces Waste Disposal Sites 2001-April 2007

NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

National Environmental Emergencies System (NEES) 1974-2003

NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for all previous Environment Canada spill datasets. NEES is composed of the historic datasets – or Trends – which dates from approximately 1974 to present. **NEES Trends** is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

National PCB Inventory 1988-2008

NPCB

Environment Canada’s National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. All federal out-of-service PCB containing equipment and all PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada’s mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites.

National Pollutant Release Inventory 1993-2009

NPRI

Environment Canada has defined the National Pollutant Release Inventory (“NPRI”) as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

Parks Canada Fuel Storage Tanks 1920-Jan 2005

PCFT

Canadian Heritage maintains an inventory of all known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

Transport Canada Fuel Storage Tanks 1970-March 2007

TCFT

With the provinces of BC, MB, NB, NF, ON, PE, and QC; Transport Canada currently owns and operates 90 fuel storage tanks. This inventory will also include The Pickering Lands, which refers to the 7,530 hectares (18,600 acres) of land in Pickering, Markham and Uxbridge - owned by the Government of Canada since 1972. Properties on this land has been leased by the government since 1975, falls under the Site Management Policy of Transport Canada, but administered by Public Works and Government Services Canada. Our inventory provides information on the site name, location, tank age, capacity and fuel type.

Private Source Databases:

Anderson's Waste Disposal Sites 1860s-Present

ANDR

The information provided in this database was collected by examining various historical documents which aimed to characterize the likely position of former waste disposal sites from 1860 to present. The research initiative behind the creation of this database was to identify those sites that are missing from the *Ontario MOE Waste Disposal Site Inventory*, as well as to provide revisions and corrections to the positions and descriptions of sites currently listed in the MOE inventory. In addition to historic waste disposal facilities, the database also identifies certain auto wreckers and scrap yards that have been extrapolated from documentary sources. *Please note that the data is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.*

Automobile Wrecking & Supplies 2001-Jun 2010

AUWR

This database provides an inventory of all known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

Chemical Register 1992, 1999-Jun 2010

CHEM

This database includes information from both a one time study conducted in 1992 and private source and is a listing of facilities that manufacture or distribute chemicals. The production of these chemical substances may involve one or more chemical reactions and/or chemical separation processes (i.e. fractionation, solvent extraction, crystallization, etc.).

ERIS Historical Searches 1999-Sept 2011

EHS

EcoLog ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

Canadian Mine Locations 1998-2009

MINE

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

Oil and Gas Wells Oct 2001-Sept 2011

OGW

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickles' database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at www.nickles.com.

Canadian Pulp and Paper 1999, 2002, 2004, 2005, 2009

PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

Retail Fuel Storage Tanks 2000-Jun 2010

RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks. Information is provided on company name, location and type of business.

Scott's Manufacturing Directory 1992-Mar 2011

SCT

Scott's Directories is a data bank containing information on over 70,000 manufacturers in Ontario. Even though Scott's listings are voluntary, it is the most comprehensive database of Ontario manufacturers available. Information concerning a company's address, plant size, and main products are included in this database. This database begins with 1992 information and is updated annually.

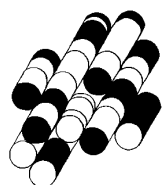
Anderson's Storage Tanks 1915-1953*

TANK

The information provided in this database was collected by examining various historical documents, which identified the location of former storage tanks, containing substances such as fuel, water, gas, oil, and other various types of miscellaneous products. Information is available in regard to business operating at tank site, tank location, permit year, permit & installation type, no. of tanks installed & configuration and tank capacity. *Data contained within this database pertains only to the city of Toronto and is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.*

APPENDIX C

TERRAPROBE INC.



Hurontario Street and Grange Drive, Mississauga, ON



Photo 1:
View of the commercial property located at
2114 Hurontario Street, looking towards the
northwest.



Photo 2:
View of the rear of the building located at
2114 Hurontario Street. Looking towards the
southeast, construction debris is visible.



Photo 3:
View of the adjoining southern property from
2114 Hurontario Street, looking towards the
south.

Hurontario Street and Grange Drive, Mississauga, ON



Photo 4:
View of an AST at 2114 Hurontario Street,
looking towards the north.



Photo 5:
View of the commercial property located at
2124 Hurontario Street, looking towards the
northeast.



Photo 6:
View of the commercial property located at
2124 Hurontario Street and adjoining northern
properties, looking towards the north.

Hurontario Street and Grange Drive, Mississauga, ON



Photo 7:
View of the commercial property located at 2130 Hurontario Street, looking towards the southeast.



Photo 8:
Interior view of the property located at 2130 Hurontario Street.



Photo 9:
A view of the residential property located at 2095 Grange Drive, looking towards the east.

Hurontario Street and Grange Drive, Mississauga, ON



Photo 10:
View of the adjoining southern properties
located along Grange Drive, looking towards
the southeast.



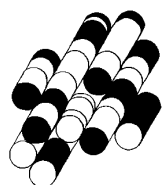
Photo 11:
View of the residential properties located at
2107 Grange Drive, looking towards the
northeast.



Photo 12:
View of the residential property located at
2113 Grange Drive, looking towards the
northeast.

APPENDIX D

TERRAPROBE INC.



4.2R1 to R5 ZONES
(DETACHED DWELLINGS - TYPICAL LOTS)

4.2.1R1 to R5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations

Column A		B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
PERMITTED USES						
2.0	RESIDENTIAL					
2.1	Detached Dwelling	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾	✓ ⁽¹⁾
ZONE REGULATIONS						
3.0	MINIMUM LOT AREA					
3.1	Interior lot	750 m ²	695 m ²	550 m ²	365 m ²	295 m ²
3.2	Corner lot	835 m ²	810 m ²	720 m ²	500 m ²	415 m ²
4.0	MINIMUM LOT FRONTAGE					
4.1	Interior lot	22.5 m	18.0 m	15.0 m	12.0 m	9.75 m
4.2	Corner lot	22.5 m	21.0 m	19.5 m	16.5 m	13.5 m
5.0	MAXIMUM LOT COVERAGE	25%	30%	35%	40%	40%
6.0	MINIMUM FRONT YARD					
6.1	Interior lot	9.0 m ⁽²⁾⁽⁷⁾	9.0 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾
6.2	Corner lot	7.5 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾
6.3	Front garage face - interior lot	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	6.0 m
6.4	Front garage face - corner lot	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	⁽⁸⁾ (0379-2009)	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾	6.0 m ⁽²⁾	4.5 m ⁽²⁾	4.5 m ⁽²⁾
7.1	Front garage face	⁽⁹⁾ (0379-2009)	⁽⁹⁾ (0379-2009)	⁽⁹⁾ (0379-2009)	6.0 m ⁽²⁾	6.0 m ⁽²⁾
8.0	MINIMUM INTERIOR SIDE YARD					
8.1	Interior lot	1.8 m on one side of the lot and 4.2 m on the other side ⁽²⁾	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey ⁽²⁾	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey ⁽²⁾	1.2 m ⁽²⁾	1.2 m on one side of the lot and 0.61 m on the other side ⁽²⁾

Table 4.2.1 continued on next page

Column A		B	C	D	E	F
Line 1.0	ZONES	R1	R2	R3	R4	R5
Table 4.2.1 continued from previous page						
8.2	Corner lot	3.0 m ⁽²⁾	3.0 m ⁽²⁾	1.2 m + 0.61 m for each additional storey above one (1) storey ⁽²⁾	1.2 m ⁽²⁾	1.2 m ⁽²⁾
9.0	MINIMUM REAR YARD					
9.1	Interior lot	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾
9.2	Corner lot	3.0 m ⁽²⁾	3.0 m ⁽²⁾	3.0 m ⁽²⁾	7.5 m ⁽²⁾	7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT	10.7 m	10.7 m	10.7 m	10.7 m	10.7 m
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS					
11.1	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature where provided	n/a	n/a	n/a	n/a	2.5 m
11.2	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	n/a	n/a	n/a	n/a	5.0 m
11.3	For a detached dwelling more than one (1) storey in height, where the garage projects beyond the main front entrance, a minimum of 75% of the width of the garage, measured from the inside face of the garage walls, shall be covered by a second storey which may be set back a maximum of 2.5 m from the front garage face	n/a	n/a	n/a	n/a	✓
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY					
12.1	Attached garage	Permitted ⁽³⁾	Permitted ⁽³⁾	Permitted ⁽³⁾	Permitted ⁽³⁾	Required ⁽³⁾
12.2	Minimum parking spaces	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}	✓ ^{(4) (5)}
12.3	Maximum driveway width	Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾	Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾	Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾	Lesser of 8.5 m or 50% of lot frontage ⁽⁴⁾	6.0 m ⁽⁴⁾
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾	✓ ⁽⁶⁾

- NOTES:
- (1)

(2)

(3)

(4)

(5)

(6)

(7)

(8)

(9)
- See also Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.

See also Subsections 4.1.7 and 4.1.8 of this By-law.

See Subsection 4.1.12 of this By-law.

See Subsection 4.1.9 of this By-law.

See Part 3 of this By-law.

See Subsection 4.1.2 of this By-law.

Where a lot abuts a lot with an existing front yard of 12.0 m or more, the minimum front yard shall be 12.0 m.

The setback to the front garage face shall be the same as the front yard. (0379-2009)

The setback to the front garage face shall be the same as the exterior side yard. (0379-2009)

4.2.2 R1 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Regulations, the regulations contained in Subsection 4.2.2 - R1 Infill Exception Regulations shall apply where specified by an R1 Exception Zone.

Table 4.2.2 - R1 Infill Exception Regulations

Column A		B
Line		
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS : interior lots having a lot frontage equal to or greater than 18.0 m	
2.1	One (1) storey detached dwelling	20% of the lot frontage
2.2	Dwelling having more than one (1) storey	27% of the lot frontage
3.0	MAXIMUM HEIGHT - HIGHEST RIDGE : lots having a lot frontage equal to or greater than 22.5 m sloped roof	9.5 m
4.0	MAXIMUM HEIGHT - HIGHEST RIDGE : lots having a lot frontage less than 22.5 m sloped roof	9.0 m
5.0	MAXIMUM HEIGHT: flat roof	7.5 m
6.0	MAXIMUM HEIGHT OF EAVES: from average grade to lower edge of the eaves	6.4 m
7.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	190 m ² plus 0.20 times the lot area
8.0	GARAGE PROJECTION : maximum projection of the garage beyond the front wall of the first storey (0325-2008)	0.0 m
9.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m
10.0	Driveways may be constructed of a permeable type of material	✓

Part 4 - Residential Zones

4.2.2.1	Exception: R1-1	Map # 02, 07, 08	By-law:
In a R1-1 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.1.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		

4.2.2.2	Exception: R1-2	Map # 02, 03, 07, 08, 09	By-law:
In a R1-2 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.2.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.2.2	Minimum lot frontage		30.0 m

4.2.2.3	Exception: R1-3	Map # 08	By-law:
In a R1-3 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.3.1	The regulations contained in Subsection 4.2.2 of this By-law shall apply		
4.2.2.3.2	Minimum lot area		1 160 m ²
4.2.2.3.3	Minimum lot frontage		24.0 m

4.2.2.4	Exception: R1-4	Map # 10	By-law:
In a R1-4 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.4.1	Minimum lot area		2 160 m ²
4.2.2.4.2	Minimum lot frontage		45.0 m
4.2.2.4.3	Minimum setback from Clarkson Road North		18.0 m

4.2.2.5	Exception: R1-5	Map # 17	By-law: 0379-2009
In a R1-5 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.5.1	The provisions contained in Subsection 4.1.16 and 4.1.17 of this By-law shall not apply		
4.2.2.5.2	Minimum lot area - interior lot fronting on Mississauga Road	2 023 m ²	
4.2.2.5.3	Minimum lot area - all other lots	3 035 m ²	
4.2.2.5.4	Minimum lot frontage - interior lot fronting on Mississauga Road	30.0 m	
4.2.2.5.5	Minimum lot frontage - all other lots	38.0 m	
4.2.2.5.6	Minimum front yard :		
	(1) where a detached dwelling is to be constructed adjacent to a lot with an existing dwelling	distance equal to the front yard of the existing dwelling on the adjacent lot	
	(2) where a detached dwelling is to be constructed between two (2) lots , each with an existing dwelling	distance equal to the average of the front yards of the two existing dwellings	
	(3) all other lots	12.0 m	
4.2.2.5.7	Minimum interior side yard	6.0 m	
4.2.2.5.8	Tennis courts or any like recreational facilities shall not be permitted in the front yard		

4.2.2.6	Exception: R1-6	Map # 15	By-law:
In a R1-6 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.6.1	Minimum lot area	3 500 m ²	
4.2.2.6.2	Minimum lot frontage	30.0 m	

4.2.2.7	Exception: R1-7	Map # 10, 15, 24, 55	By-law:
In a R1-7 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.7.1	Minimum lot area	1 140 m ²	
4.2.2.7.2	Minimum lot frontage	30.0 m	
4.2.2.7.3	Minimum setback from Mississauga Road	9.0 m	

4.2.2.8	Exception: R1-8	Map # 15, 16	By-law:
In a R1-8 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.8.1	Minimum lot area	1 400 m ²	
4.2.2.8.2	Minimum lot frontage	30.0 m	

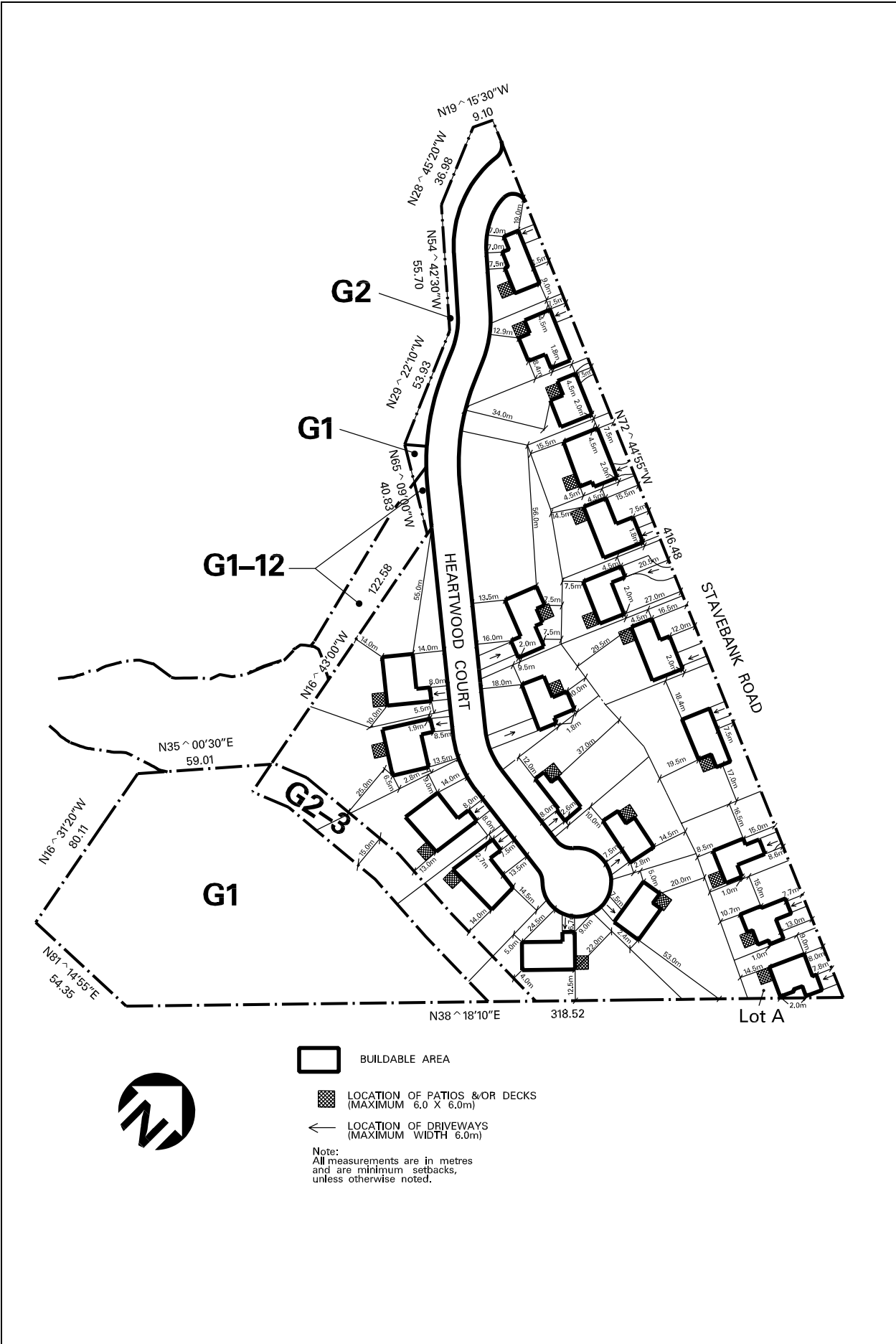
4.2.2.9	Exception: R1-9	Map # 16	By-law:
In a R1-9 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.9.1	Maximum lot coverage	35%	
4.2.2.9.2	Minimum front yard - interior lot	7.5 m	
4.2.2.9.3	Minimum front yard - corner lot	6.0 m	
4.2.2.9.4	Minimum exterior side yard	6.0 m	
4.2.2.9.5	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey	

4.2.2.10	Exception: R1-10	Map # 24	By-law:
In a R1-10 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.10.1	Minimum lot area	803 m ²	
4.2.2.10.2	Minimum lot frontage	18.1 m	
4.2.2.10.3	Minimum interior side yard - interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.2.10.4	Maximum height - highest ridge: sloped roof	9.5 m	
4.2.2.10.5	Maximum height: flat roof	9.5 m	
4.2.2.10.6	Minimum number of parking spaces per dwelling unit	2	
4.2.2.10.7	Maximum projection of a garage beyond the main front entrance	0.0 m	
4.2.2.10.8	Maximum garage width: measured from the inside face of the garage side walls	5.5 m	
4.2.2.10.9	Maximum driveway width per lot	5.5 m	

4.2.2.11	Exception: R1-11	Map # 31	By-law:
In a R1-11 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.11.1	Maximum lot coverage	35%	
4.2.2.11.2	Minimum front yard	6.5 m	
4.2.2.11.3	Minimum exterior side yard	4.5 m	
4.2.2.11.4	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side	
4.2.2.11.5	Minimum interior side yard - corner lot	1.2 m	
4.2.2.11.6	Minimum rear yard , where lands contain or abut a G2-3 or G2-4(12) zone	29.0 m	

4.2.2.12	Exception: R1-12	Map # 38W	By-law:
In a R1-12 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.2.12.1	Minimum front yard	7.5 m	

4.2.2.13	Exception: R1-13	Map # 15	By-law: 0325-2008
In a R1-13 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.13.1	Minimum lot area	1 200 m ²	
4.2.2.13.2	Minimum lot area - Lot A identified on Schedule R1-13 of this Exception	995 m ²	
4.2.2.13.3	Minimum lot frontage	23.5 m	
4.2.2.13.4	The areas outside of the buildable areas and driveway locations identified on Schedule R1-13 of this Exception are tree preservation areas and shall only be used for conservation purposes and no buildings or structures , swimming pools , tennis courts or any like recreational facilities shall be permitted outside of the buildable areas, except for fences along the lot lines , patios and/or decks		
4.2.2.13.5	All site development plans shall comply with Schedule R1-13 of this Exception		



Schedule R1-13
Map 15

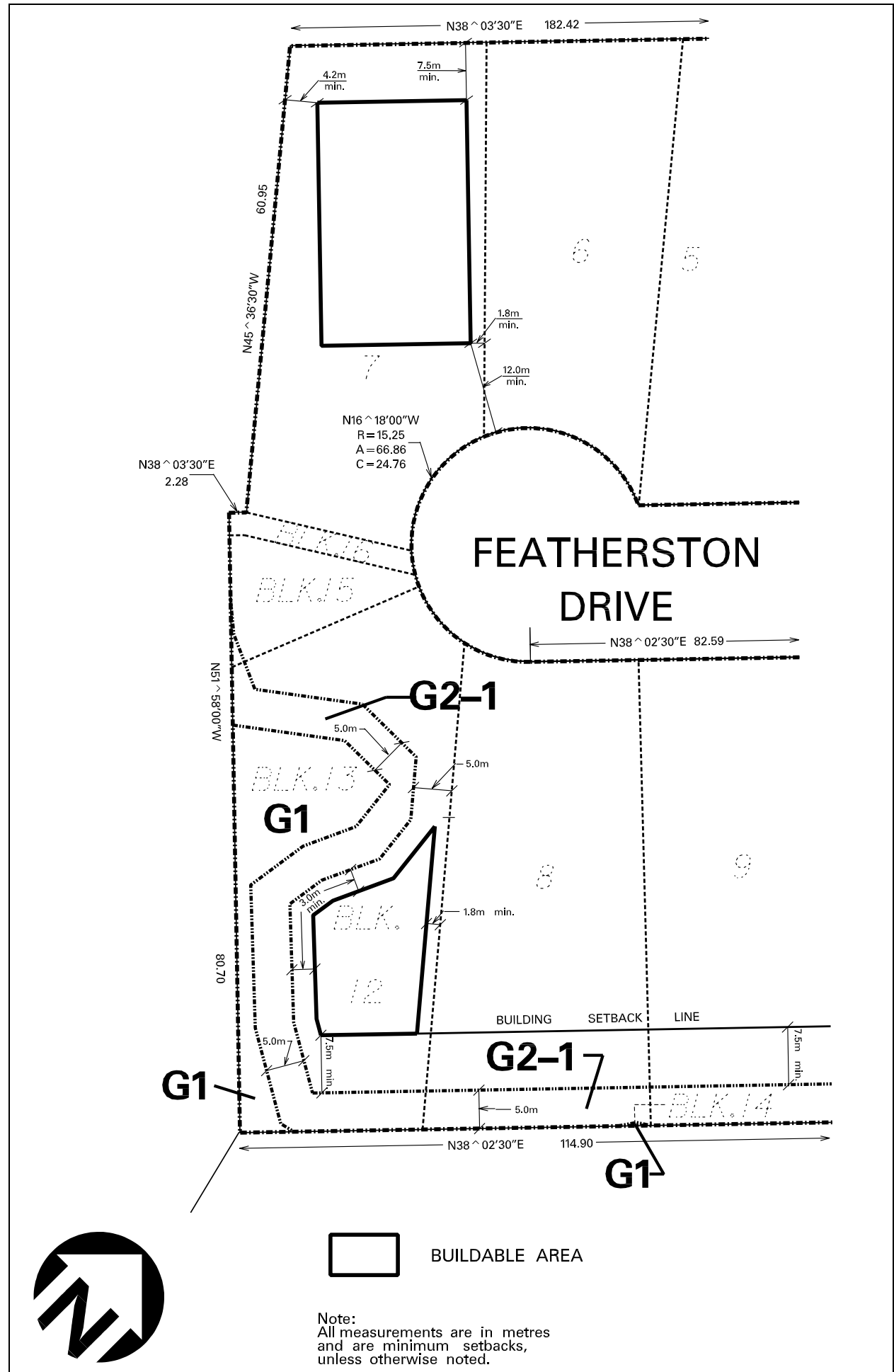
4.2.2.14	Exception: R1-14	Map # 31	By-law:
In a R1-14 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.14.1	Maximum lot coverage	35%	
4.2.2.14.2	Minimum front yard	6.5 m	
4.2.2.14.3	Minimum interior side yard	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.2.14.4	Minimum rear yard	30.0 m	
4.2.2.14.5	Minimum setback to the rear lot line of all accessory buildings and structures and swimming pools	15.0 m	

4.2.2.15	Exception: R1-15	Map # 38W	By-law:
In a R1-15 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.15.1	Maximum lot coverage - detached dwelling not exceeding one (1) storey	40%	
4.2.2.15.2	Maximum lot coverage - detached dwelling more than one (1) storey	35%	
4.2.2.15.3	Minimum front yard	7.5 m	
4.2.2.15.4	Minimum interior side yard - interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.2.15.5	Minimum rear yard	30.0 m	
4.2.2.15.6	Minimum setback to the rear lot line of all accessory buildings and structures and swimming pools	15.0 m	

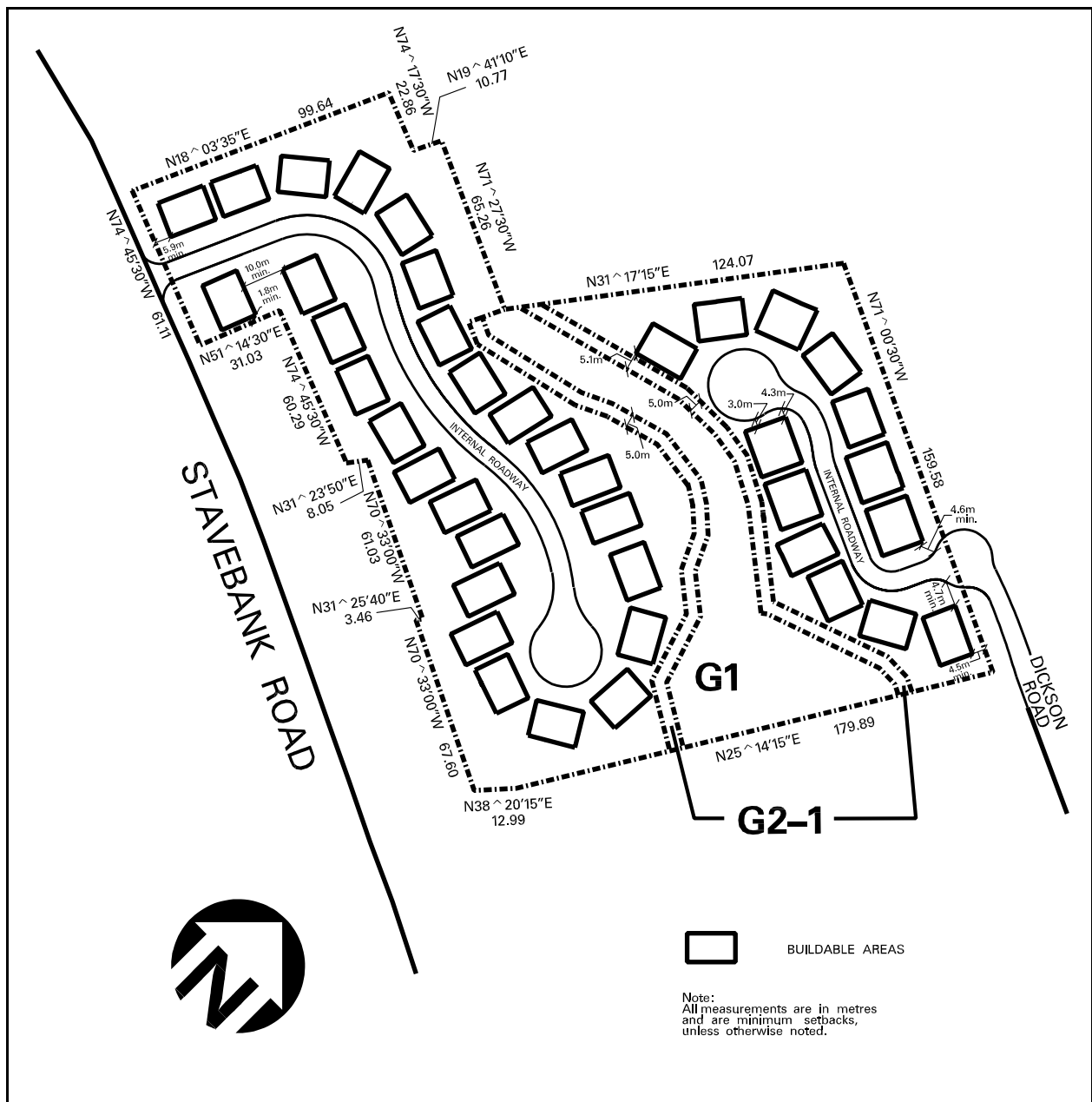
4.2.2.16	Exception: R1-16	Map # 39E	By-law:
In a R1-16 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.16.1	Maximum lot coverage - detached dwelling not exceeding one (1) storey	40%	
4.2.2.16.2	Maximum lot coverage - detached dwelling more than one (1) storey	35%	
4.2.2.16.3	Minimum front yard	7.5 m	
4.2.2.16.4	Minimum interior side yard - interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey	

4.2.2.17	Exception: R1-17	Map # 56	By-law:
In a R1-17 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.17.1	(1)	Veterinary Clinic	
Regulations			
4.2.2.17.2	A veterinary clinic shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum depth of a landscaped buffer measured from the lot line abutting Britannia Road West	4.5 m
	(2)	"Veterinary Clinic" means a building, structure or part thereof, where domesticated animals, excluding livestock, are given medical and/or surgical treatment, grooming or care by a veterinarian licensed by the Province of Ontario. Indoor overnight boarding of animals shall be permitted.	

4.2.2.18	Exception: R1-18	Map # 24	By-law:
In a R1-18 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.18.1	Minimum lot area - interior lot		1 200 m ²
4.2.2.18.2	Minimum lot frontage - interior lot		22.8 m
4.2.2.18.3	Maximum lot coverage		285 m ²
4.2.2.18.4	Minimum front yard - interior lot		12.0 m
4.2.2.18.5	Minimum interior side yard - interior lot		4.2 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey on the other side
4.2.2.18.6	Minimum rear yard - interior lot that abuts an R2 zone		7.5 m
4.2.2.18.7	Minimum rear yard - all other interior lots		12.5 m
4.2.2.18.8	Maximum height - highest ridge: sloped roof		9.5 m
4.2.2.18.9	All site development plans shall comply with Schedule R1-18 of this Exception		



4.2.2.19	Exception: R1-19	Map # 15	By-law:
In a R1-19 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.19.1	Maximum number of dwelling units on all lands zoned R1-19	40	
4.2.2.19.2	Minimum landscaped area	45% of lot area	
4.2.2.19.3	Maximum gross floor area - residential per detached dwelling	445 m ²	
4.2.2.19.4	Minimum setback to an internal road	4.5 m	
4.2.2.19.5	Minimum setback of a front garage face to an internal road	6.0 m	
4.2.2.19.6	Minimum distance between buildings	3.0 m	
4.2.2.19.7	Minimum setback of all buildings and structures to any lot line or lands zoned G1	7.5 m	
4.2.2.19.8	Maximum height - highest ridge: sloped roof	11.5 m	
4.2.2.19.9	Maximum height: flat roof	7.5 m	
4.2.2.19.10	Height of all buildings and structures shall be measured from established grade		
4.2.2.19.11	Maximum projection of a porch or deck outside the buildable area identified on Schedule R1-19 of this Exception, provided that the minimum distance between any building or structure shall be 3.0 m	2.5 m	
4.2.2.19.12	Maximum projection of a bay window, with or without a foundation or chimney outside the buildable area identified on Schedule R1-19 of this Exception, provided that the minimum distance between any buildings or structures shall be 3.0 m	1.5 m	
4.2.2.19.13	Minimum number of parking spaces per dwelling unit	4	
4.2.2.19.14	All site development plans shall comply with Schedule R1-19 of this Exception		



Schedule R1-19
Map 15

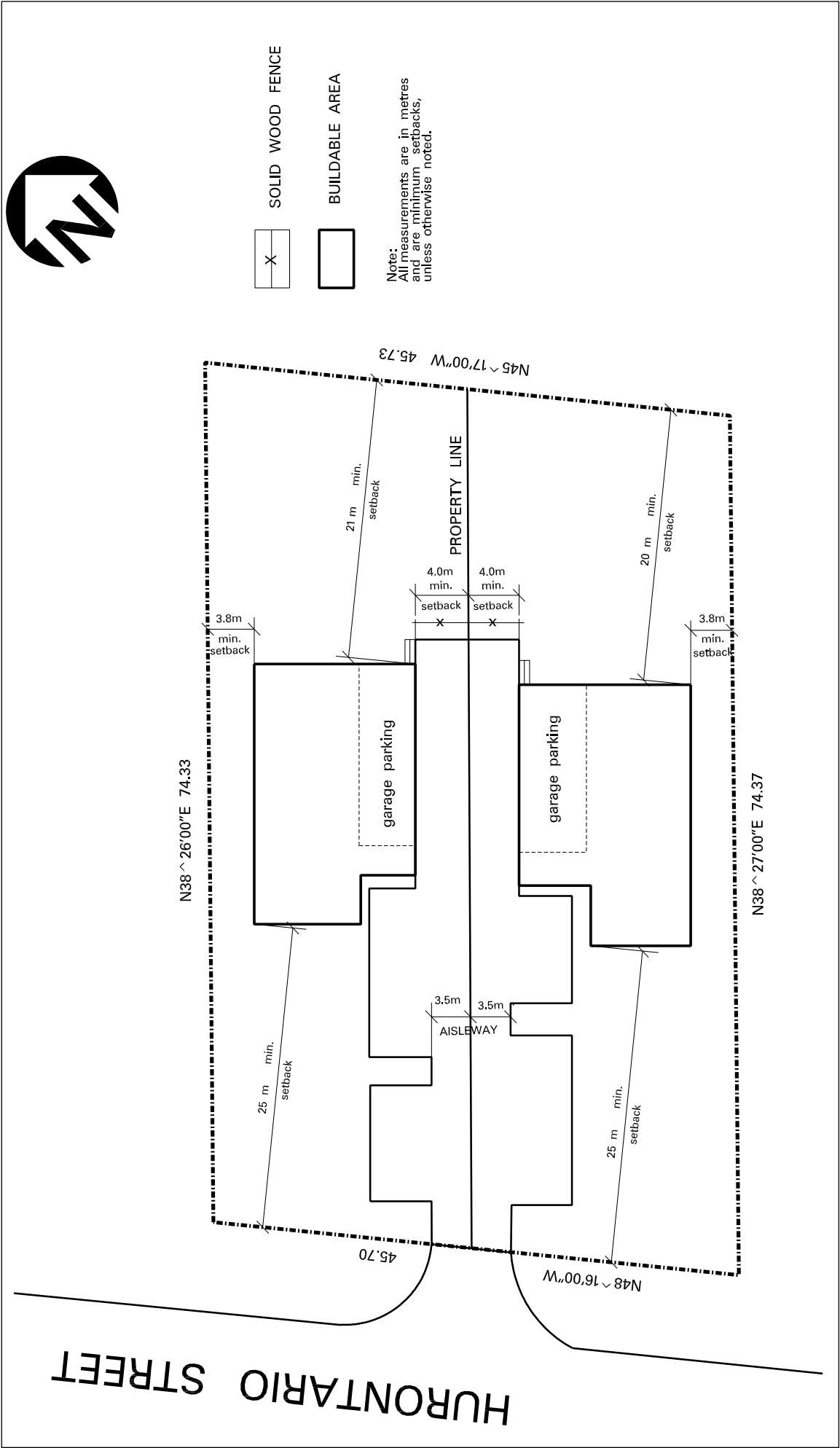
4.2.2.20	Exception: R1-20	Map # 07	By-law: 0054-2009
In a R1-20 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.20.1	Lands zoned R1-20 shall only be used for the following: (1) Detached Dwelling or (2) Office or (3) Office with one (1) dwelling unit (4) Outdoor swimming pool accessory to an office or an office with one (1) dwelling unit		
Regulations			
4.2.2.20.2	Minimum lot frontage - interior lot		30.0 m
4.2.2.20.3	Maximum gross floor area - non residential		383 m ²
4.2.2.20.4	Maximum driveway width for an office or an office with one (1) dwelling unit		13.0 m
4.2.2.20.5	Minimum landscaped buffer adjacent to Hurontario Street		7.5 m
4.2.2.20.6	Maximum number of accessory buildings and structures for an office or an office with one (1) dwelling unit		2
4.2.2.20.7	Maximum number of tandem parking spaces		4
4.2.2.20.8	An aisle adjacent to tandem parking spaces shall not be required		
4.2.2.20.9	Parking areas may be constructed of a permeable type of material		
4.2.2.20.10	An outdoor swimming pool permitted in Clause 4.2.2.20.1(4) shall comply with the provisions contained in Sentences 4.1.4.1.1 and 4.1.4.1.2 of this By-law		

4.2.2.21	Exception: R1-21	Map # 07	By-law:
In a R1-21 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.21.1	Lands zoned R1-21 shall only be used for the following:		
	(1) Detached Dwelling or (2) Office (3) Medical Office - Restricted		
Regulations			
4.2.2.21.2	Minimum lot frontage		16.5 m
4.2.2.21.3	An office and a medical office - restricted shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage	22.5 m
	(2)	maximum total gross floor area - non-residential	130 m ²

4.2.2.22	Exception: R1-22	Map # 07	By-law:
In a R1-22 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.22.1	Lands zoned R1-22 shall only be used for the following:		
	(1) Detached Dwelling or (2) Dental Laboratory or (3) Office and/or Medical Office - Restricted		
Regulations			
4.2.2.22.2	Minimum lot frontage	20.0 m	
4.2.2.22.3	A dental laboratory, office and a medical office - restricted shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	20.0 m	
	(2) maximum total gross floor area - non-residential	80 m ²	
	(3) minimum parking spaces per 100 m ² gross floor area - non-residential used for a dental laboratory	3.2	

4.2.2.23	Exception: R1-23	Map # 07	By-law:
In a R1-23 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.23.1	Lands zoned R1-23 shall only be used for the following:		
	(1) Office		
	(2) Medical Office - Restricted		
Regulations			
4.2.2.23.2	Minimum lot frontage - interior lot		30.0 m
4.2.2.23.3	Maximum total gross floor area - non-residential		585 m ²

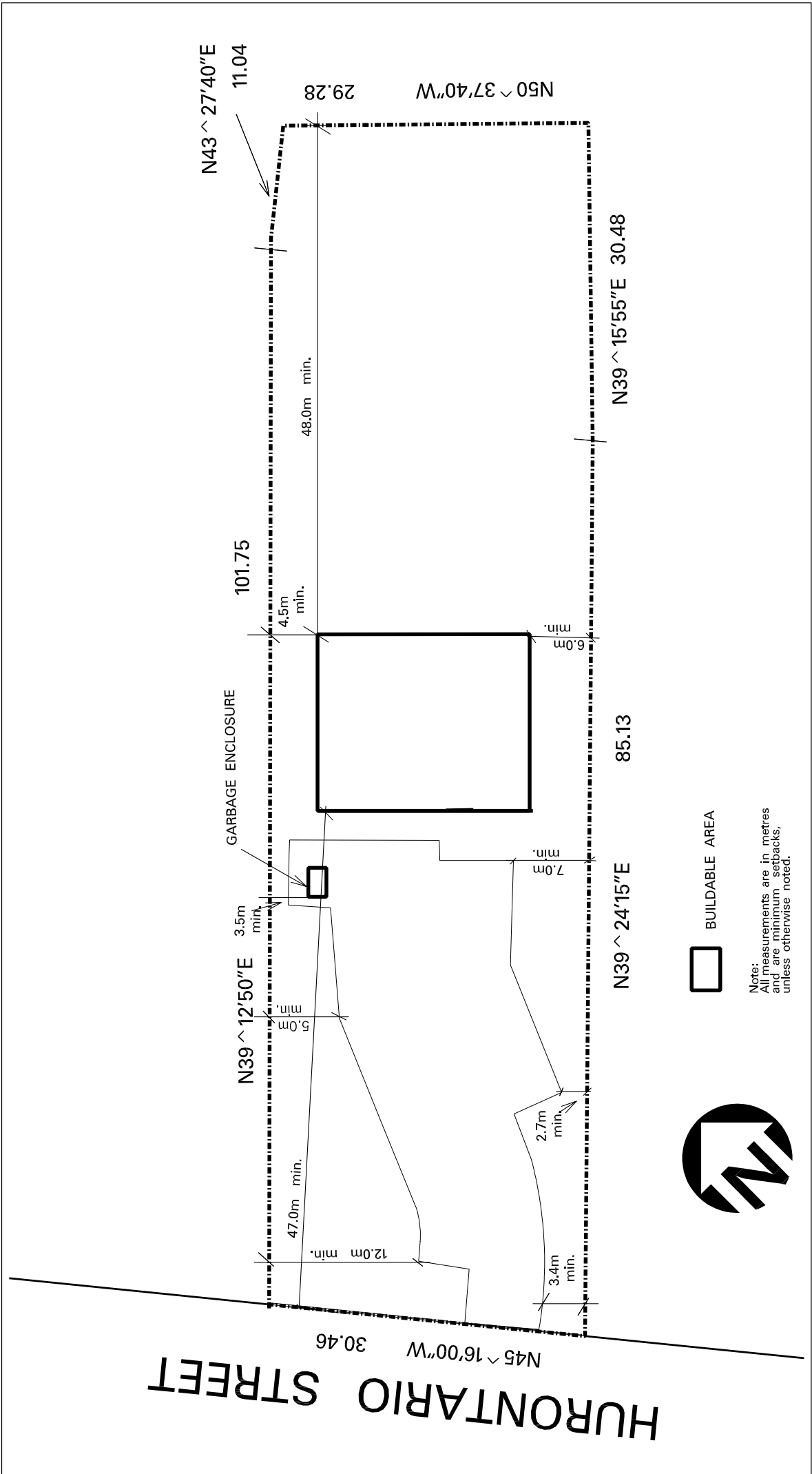
4.2.2.24	Exception: R1-24	Map # 07	By-law:
In a R1-24 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.24.1	Lands zoned R1-24 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Regulations			
4.2.2.24.2	Maximum gross floor area - non-residential		418 m ²
4.2.2.24.3	An office and medical office - restricted shall not be permitted below average grade		
4.2.2.24.4	Minimum number of parking spaces for a medical office - restricted		The greater of 5.0 spaces per practitioner, or 6.5 spaces per 100 m ² gross floor area - non-residential
4.2.2.24.5	No outdoor storage shall be permitted		
4.2.2.24.6	All site development plans shall comply with Schedule R1-24 of this Exception		



Schedule R1-24
Map 07

4.2.2.25	Exception: R1-25	Map # 15	By-law:
In a R1-25 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.25.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.2.25.2	Minimum setback of all buildings and structures to G1 and G1-12 zones		10.0 m
4.2.2.25.3	Access shall be permitted from lands zoned G1-12		

4.2.2.26	Exception: R1-26	Map # 07	By-law:
In a R1-26 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.26.1	Lands zoned R1-26 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Use Not Permitted			
4.2.2.26.2	(1)	Office and/or medical office - restricted that requires more than twenty-three (23) parking spaces	
Regulations			
4.2.2.26.3	Minimum landscaped area		65% of lot area
4.2.2.26.4	Maximum gross floor area - non-residential		552 m ²
4.2.2.26.5	The use of any part of the building below established grade shall be restricted to the following:		
	(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building ;	
	(2)	areas of stairwells, washrooms or elevators;	
	(3)	collection or storage of disposable or recyclable waste generated within the building ;	
	(4)	storage incidental to permitted uses in the building ;	
	(5)	lunch rooms, lounges or washrooms for the personal needs of occupants of the building .	
4.2.2.26.6	Maximum height - highest ridge: sloped roof		11.6 m
4.2.2.26.7	Maximum encroachment of a porch outside the buildable area identified on Schedule R1-26 of this Exception, into the required front yard		1.7 m
4.2.2.26.8	Maximum encroachment of an uncovered ramp for handicapped access outside the buildable area identified on Schedule R1-26 of this Exception into the required northerly interior side yard		3.0 m
4.2.2.26.9	Maximum number of parking spaces		23
4.2.2.26.10	All site development plans shall comply with Schedule R1-26 of this Exception		



Schedule R1-26
Map 07

4.2.2.27	Exception: R1-27	Map # 17	By-law:
In a R1-27 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.27.1	Minimum interior side yard - interior lot		1.8 m plus 0.61 m for each additional storey or portion thereof above one (1) storey

4.2.2.28	Exception: R1-28	Map # 38E	By-law:
In a R1-28 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.28.1	Lands zoned R1-28 shall only be used for the following:		
	(1) Place of Religious Assembly		
	(2) Accessory uses to a place of religious assembly		
Regulations			
4.2.2.28.2	The regulations of Line 2.2 contained in Table 2.1.9.3 of this By-law shall not apply		
4.2.2.28.3	Minimum interior side yard - interior lot		12.0 m
4.2.2.28.4	Maximum height		13.5 m
4.2.2.28.5	Accessory uses to a place of religious assembly shall only include administrative offices associated with a place of religious assembly , a day care and a private community centre		

4.2.2.29	Exception: R1-29	Map # 38W, 45E	By-law:
In a R1-29 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.2.29.1	Minimum lot area - interior lot		2 000 m ²
4.2.2.29.2	Minimum lot frontage - interior lot		19.0 m

4.2.2.30	Exception: R1-30	Map # 38W	By-law:
In a R1-30 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.30.1	Lands zoned R1-30 shall only be used for the following:		
	(1)	Place of Religious Assembly	
	(2)	Accessory uses to a place of religious assembly	
Regulations			
4.2.2.30.2	Maximum gross floor area - non-residential	1 430 m ²	
4.2.2.30.3	Minimum front yard - interior lot	27.0 m	
4.2.2.30.4	Minimum interior side yard - interior lot	49.0 m on one side and 22.0 m on the other side	
4.2.2.30.5	Minimum rear yard - interior lot	85.0 m	
4.2.2.30.6	Maximum height including any steeple or spire	12.2 m	
4.2.2.30.7	Minimum number of parking spaces	198	
4.2.2.30.8	A basement shall not be permitted under the nave or parish hall		
4.2.2.30.9	Maximum seating within the nave, based on a seat width of 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it	690 persons	
4.2.2.30.10	The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind		
4.2.2.30.11	Accessory uses to a place of religious assembly shall only include a parish hall, rectory and office , but shall not include a day care		
4.2.2.30.12	All site development plans shall comply with Schedule R1-30 of this Exception		



4.2.2.31	Exception: R1-31	Map # 37E	By-law:
In a R1-31 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.31.1	Lands zoned R1-31 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Medical Office - Restricted	
Regulations			
4.2.2.31.2	A medical office - restricted shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	2
	(2)	minimum lot frontage	60.0 m
	(3)	minimum front yard	20.0 m
	(4)	minimum interior side yard	13.0 m
	(5)	minimum parking spaces per professional/practitioner	5

4.2.2.32	Exception: R1-32	Map # 44W, 45E, 52W, 53E	By-law:
In a R1-32 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.32.1	The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply		
4.2.2.32.2	A flat roof shall not be permitted		
4.2.2.32.3	Maximum height - highest ridge: sloped roof		7.0 m
4.2.2.32.4	An attached garage shall not be permitted		
4.2.2.32.5	Maximum projection of the front garage face of a detached garage beyond any portion of the first floor front wall		0.0 m

4.2.2.33	Exception: R1-33	Map # 03	By-law:
In a R1-33 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.33.1	Lands zoned R1-33 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Office	
	(3)	Medical Office - Restricted	

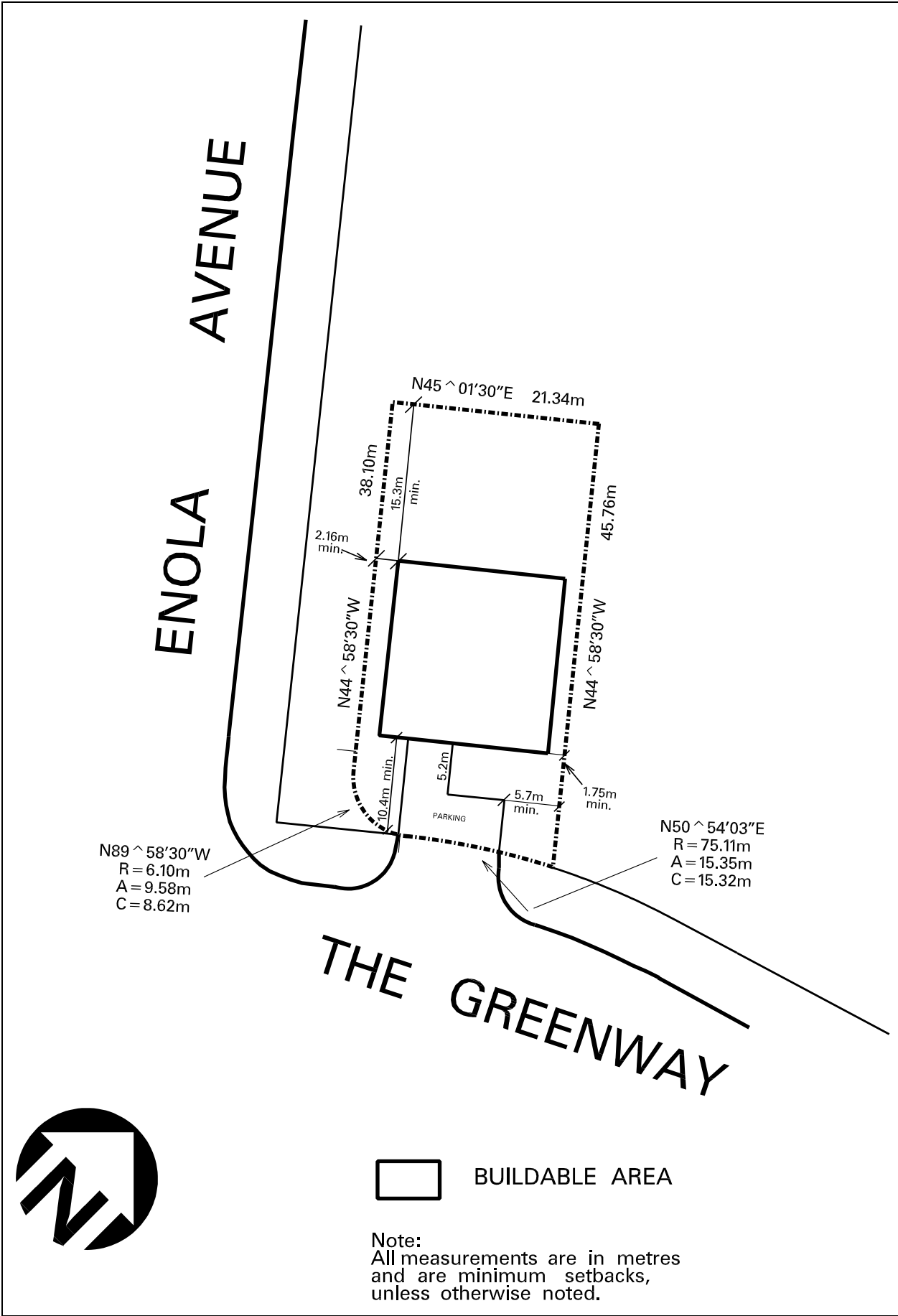
4.2.2.34	Exception: R1-34	Map # 18	By-law:
In a R1-34 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.2.34.1	Minimum lot area	1 575 m ²	
4.2.2.34.2	Minimum lot frontage	30.0 m	

4.2.2.35	Exception: R1-35	Map # 38W	By-law:
In a R1-35 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.35.1	Lands zoned R1-35 shall only be used for the following:		
	(1) Long-Term Care Dwelling		
Regulations			
4.2.2.35.2	A long-term care dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2)	maximum lot coverage	30%
	(3)	minimum landscaped area	30% of the lot area
	(4)	minimum front yard	7.5 m
	(5)	minimum exterior side yard	7.5 m
	(6)	minimum interior side yard	6.0 m
	(7)	minimum rear yard	7.5 m
	(8)	maximum height - highest ridge: sloped roof	12.2 m

4.2.2.36	Exception: R1-36	Map # 03	By-law:
In a R1-36 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.2.36.1	Lands zoned R1-36 shall only be used for the following:		
	(1) Retirement Dwelling		
Regulations			
4.2.2.36.2	A retirement dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		
	(2)	maximum height	the lesser of 10.7 m or 3 storeys

4.2.2.37	Exception: R1-37	Map # 07	By-law:
In a R1-37 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.2.37.1	Lands zoned R1-37 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Regulations			
4.2.2.37.2	Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise		1
4.2.2.37.3	Maximum lot coverage		25%
4.2.2.37.4	Minimum landscaped area		40% of the lot area
4.2.2.37.5	Maximum total gross floor area - non-residential		420 m ²
4.2.2.37.6	Maximum gross floor area - non-residential used for a medical office - restricted		138 m ²
4.2.2.37.7	The use of any part of the building below grade shall be restricted to the following:		
	(1)	climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building;	
	(2)	areas of stairwells, washrooms or elevators;	
	(3)	collection or storage of disposable or recyclable waste generated within the building;	
	(4)	storage incidental to permitted uses in the building;	
	(5)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building.	
4.2.2.37.8	Maximum height - highest ridge: sloped roof		10.7 m
4.2.2.37.9	Maximum height: flat roof		7.5 m
4.2.2.37.10	Minimum required parking spaces per 100 m ² gross floor area - non- residential used for a dental office		4.3
4.2.2.37.11	Maximum number of parking spaces		14
4.2.2.37.12	Maximum number of tandem parking spaces		4
4.2.2.37.13	Maximum encroachment of an uncovered ramp for handicapped access into required yards as follows:		
	(1)	northerly side yard	1.0 m
	(2)	front yard	8.0 m

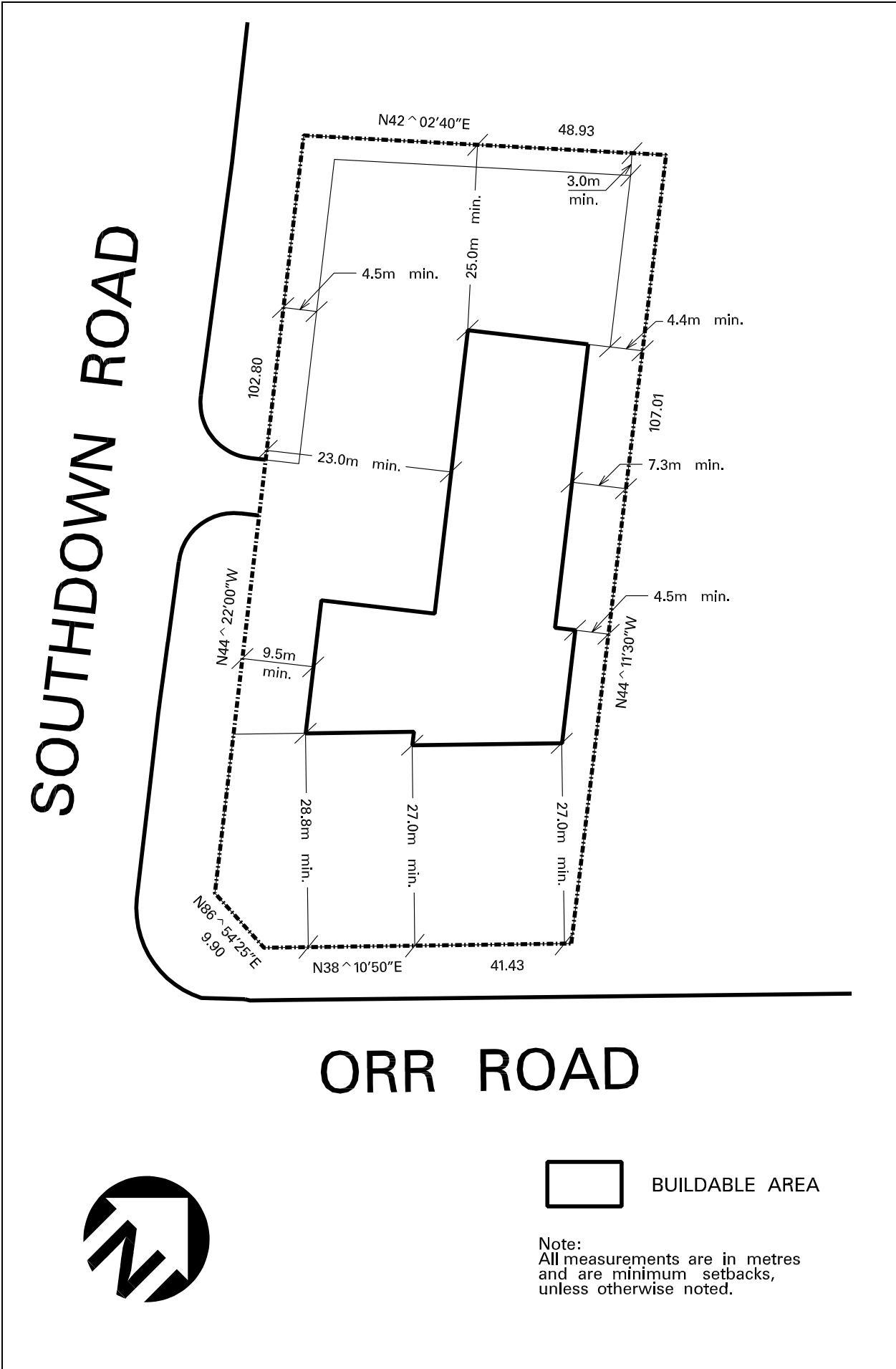
4.2.2.38	Exception: R1-38	Map # 07	By-law:
In a R1-38 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.2.2.38.1	(1)	Retirement Dwelling	
Regulations			
4.2.2.38.2	A retirement dwelling shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum gross floor area - apartment dwelling zone	417 m ²
	(2)	maximum number of retirement dwelling units	14
	(3)	maximum height - highest ridge: sloped roof	10.7 m
	(4)	minimum number of resident parking spaces per retirement dwelling unit	0.15
	(5)	minimum number of visitor parking spaces per retirement dwelling unit	0.15
	(6)	maximum number of tandem parking spaces	3
	(7)	all site development plans shall comply with Schedule R1-38 of this Exception	



Schedule R1-38
Map 07

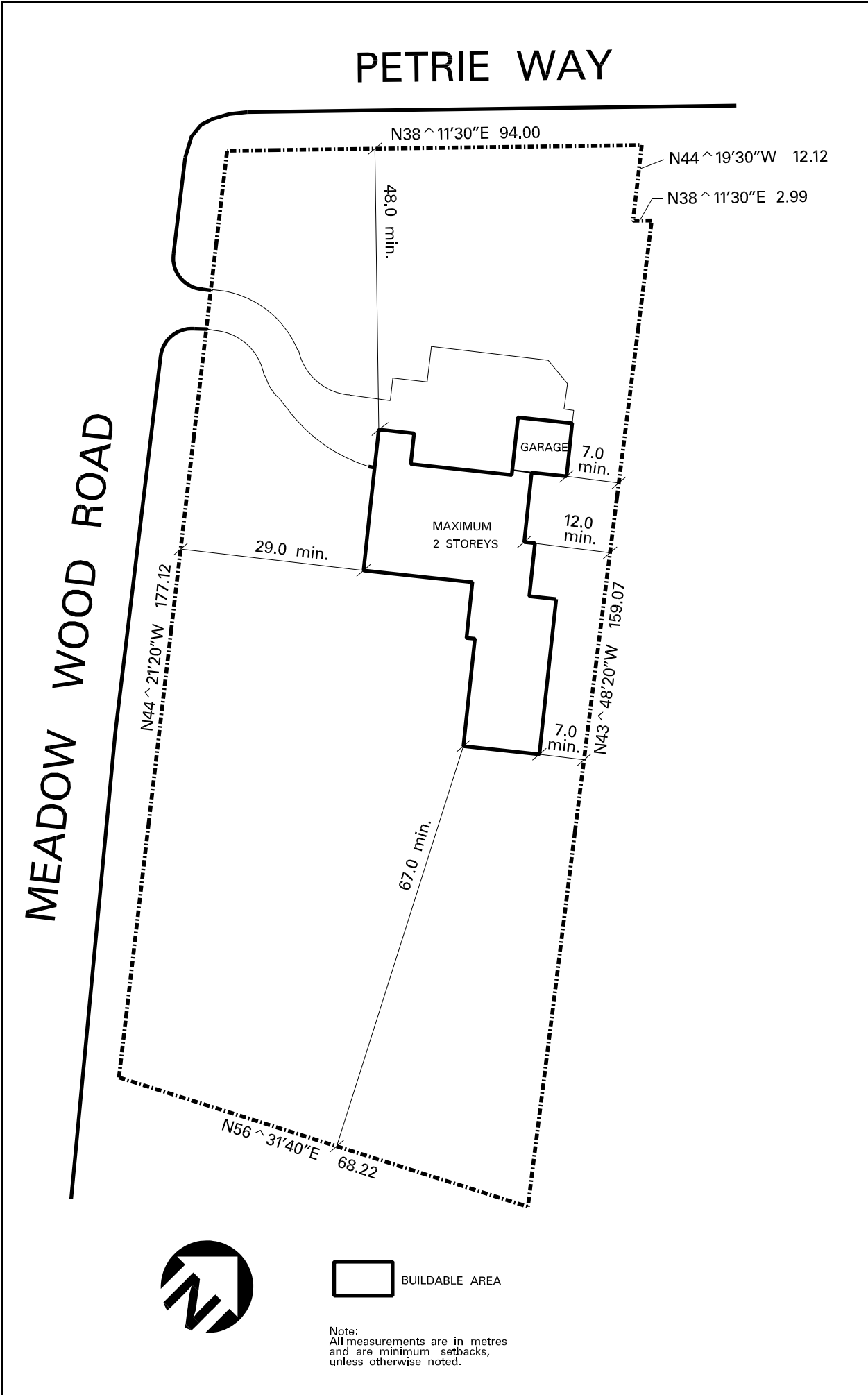
4.2.2.39	Exception: R1-39	Map # 11	By-law:
In a R1-39 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.39.1	Lands zoned R1-39 shall only be used for the following:		
	(1) Long-Term Care Dwelling		
Regulation			
4.2.2.39.2	A long-term care dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1) the provisions contained in Article 4.1.15.1 of this By-law shall apply		

4.2.2.40	Exception: R1-40	Map # 03	By-law:
In a R1-40 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.40.1	Lands zoned R1-40 shall only be used for the following:		
	(1)	Supportive Housing Dwelling	
	(2)	Office accessory to a supportive housing dwelling	
Regulations			
4.2.2.40.2	A supportive housing dwelling and office accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	maximum number of bedrooms	14
	(2)	maximum total gross floor area - apartment dwelling zone and gross floor area - non-residential	2 100 m ²
	(3)	maximum gross floor area - non-residential of office	560 m ²
	(4)	maximum height	10.7 m
	(5)	minimum number of parking spaces	38
	(6)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(7)	all site development plans shall comply with Schedule R1-40 of this Exception	



4.2.2.41	Exception: R1-41	Map # 52W	By-law:
In a R1-41 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.41.1	Lands zoned R1-41 shall only be used for the following:		
	(1)	Long-Term Care Dwelling	
Regulations			
4.2.2.41.2	A long-term care dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that:		
	(1)	the provisions contained in Article 4.1.15.1 of this By-law shall apply	
	(2)	maximum number of beds	140
	(3)	maximum lot coverage	22%
	(4)	minimum landscaped area	55% of lot area
	(5)	maximum gross floor area - apartment dwelling zone	4 181 m ²
	(6)	minimum front yard - corner lot	26.0 m
	(7)	minimum exterior side yard	30.0 m
	(8)	minimum interior side yard - corner lot	7.5 m
	(9)	minimum rear yard - corner lot	7.5 m
	(10)	maximum height	2 storeys
	(11)	minimum number of parking spaces per bed	0.34
	(12)	minimum setback of a parking area to the street	7.5 m
	(13)	minimum setback of a parking area to any other lot line	1.5 m
	(14)	minimum setback of a parking area to a wall of a dwelling that does not have a window or any other opening into a habitable room	1.5 m
	(15)	minimum setback of parking to any other wall of a dwelling	6.0 m
	(16)	a maximum of one (1) gazebo is permitted accessory to a long-term care dwelling	
	(17)	maximum area of a gazebo	49 m ²
	(18)	minimum setback of a gazebo to any lot line	8.0 m
	(19)	maximum height of a gazebo	6.5 m

4.2.2.42	Exception: R1-42	Map # 03	By-law:
In a R1-42 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.42.1	Lands zoned R1-42 shall only be used for the following:		
	(1) Supportive Housing Dwelling		
Regulations			
4.2.2.42.2	A supportive housing dwelling shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of self-contained apartment dwelling units used to accommodate a maximum of eight (8) adults and sixteen (16) children requiring specialized or group care	8
	(2)	maximum total gross floor area used for an apartment dwelling unit for staff and an office	580 m ²
	(3)	minimum number of parking spaces required	10
	(4)	"Supportive Housing Dwelling" means a building or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations	
	(5)	all site development plans shall comply with Schedule R1-42 of this Exception	



Schedule R1-42
Map 03

4.2.2.43	Exception: R1-43	Map # 38E	By-law:
In a R1-43 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.43.1 Lands zoned R1-43 shall only be used for the following:			
(1) Detached Dwelling or			
(2) Medical Office - Restricted			

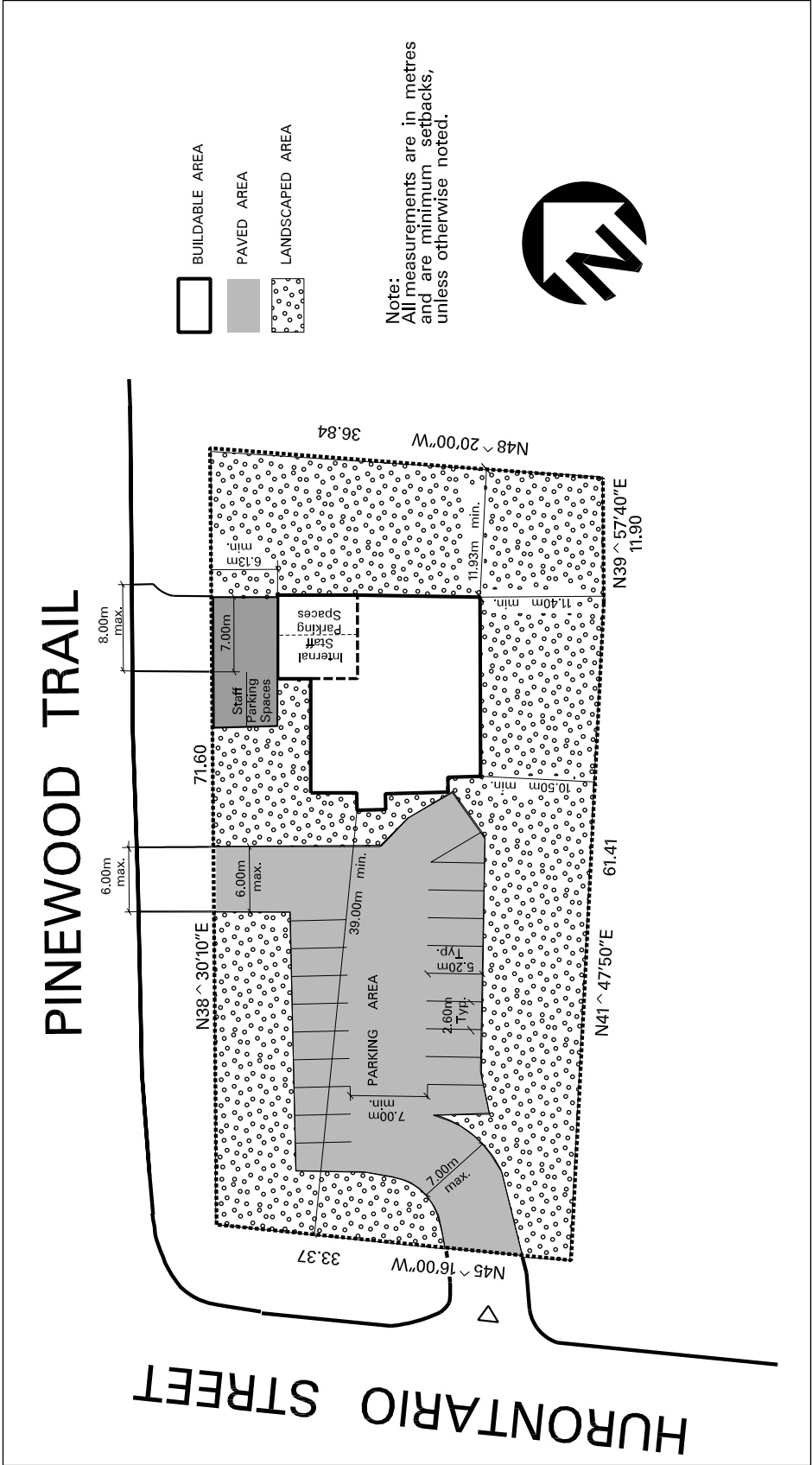
4.2.2.44	Exception: R1-44	Map # 38W	By-law:
In a R1-44 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Use			
4.2.2.44.1 Lands zoned R1-44 shall only be used for the following:			
(1) Detached Dwelling or			
(2) Private Club			

4.2.2.45	Exception: R1-45	Map # 17	By-law:
In a R1-45 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.45.1	Minimum exterior side yard		6.4 m

4.2.2.46	Exception: R1-46	Map # 07	By-law:
In a R1-46 zone the applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.2.46.1	Lands zoned R1-46 shall only be used for the following:		
	(1)	Office	
	(2)	Medical Office - Restricted	
Use Not Permitted			
4.2.2.46.2	(1)	Office and/or medical office - restricted that requires more than twenty-three (23) parking spaces	
Regulations			
4.2.2.46.3	An office and medical office - restricted shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practice at any one time	5
	(2)	maximum gross floor area	350 m ²
	(3)	maximum lot coverage	13%
	(4)	minimum landscaped area	50% of lot area
	(5)	the use of any part of the building below established grade shall be restricted to the following:	
	(5.1)	lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building ;	
	(5.2)	storage incidental to permitted uses in the building ;	
	(5.3)	stairwells;	
	(5.4)	mechanical equipment related to heating, ventilation, and air conditioning of the building ;	
	(5.5)	communication devices, the electrical distribution panel, and accessory equipment;	
	(5.6)	storage of disposable or recyclable waste generated within the building	
	(6)	maximum height - highest ridge: sloped roof	7.5 m
	(7)	maximum projection of a porch outside the buildable area identified on Schedule R1-46 of this Exception	1.8 m
	(8)	maximum number of parking spaces	23
	(9)	the parking area identified on Schedule R1-46 of this Exception for clients and visitors shall have full access to Pinewood Trail and restricted access to Hurontario Street	
	(10)	the four (4) parking spaces identified on Schedule R1-46 of this Exception that have access from the easterly driveway on Pinewood Trail shall be reserved for use by staff only	
	(11)	a ramp for disabled persons may project outside the buildable area identified on Schedule R1-46 of this Exception	

Exception R1-46 continued on next page

4.2.2.46	Exception: R1-46	Map # 07	By-law:
Exception R1-46 continued from previous page			
(12)	minimum aisle width for the two (2) parking spaces in the garage	6.13 m	
(13)	"Gross Floor Area" means the sum of the areas of each storey measured between the exterior of the faces of the exterior walls excluding the garage and any part of the building located below established grade		
(14)	all site development plans shall comply with Schedule R1-46 of this Exception		

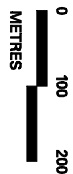
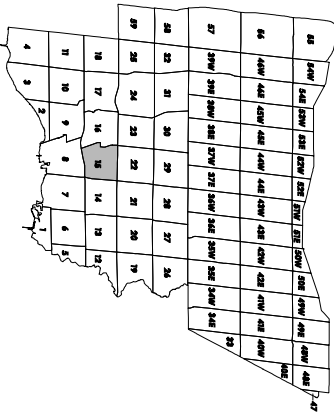
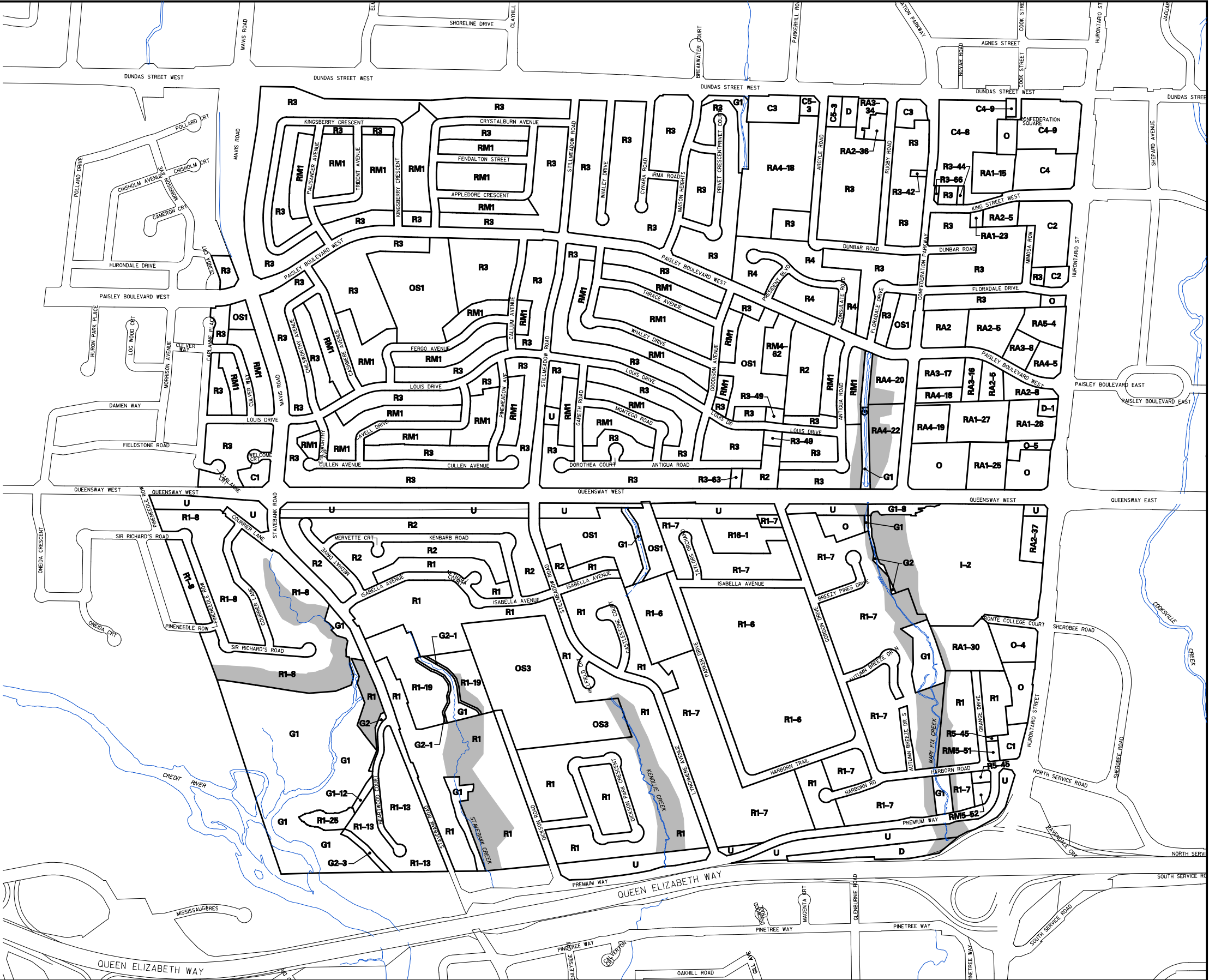


Schedule R1-46
Map 07

4.2.2.47	Exception: R1-47	Map #	By-law: <i>deleted by 0389-2009</i>

4.2.2.48	Exception: R1-48	Map # 17	By-law:
In a R1-48 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.2.2.48.1	(1)	Retirement dwelling legally existing on the date of passing of this By-law	
	(2)	Convent legally existing on the date of passing of this By-law	

4.2.2.49	Exception: R1-49	Map # 53E	By-law:
In a R1-49 zone the permitted uses and applicable regulations shall be as specified for a R1 zone except that the following uses /regulations shall apply:			
Regulation			
4.2.2.49.1	A detached dwelling shall comply with the R3 zone provisions contained in Subsection 4.2.1 of this By-law		



Greenbelt Overlay

Zoning Notation Example:
R4-12 = R4-Exception 12

Unregistered Roads

MAP 15

Schedule "B" To
By-law No. 0225-2007

Revised: 2010 June 30